

Hickory Woods Park (Phase 1b)

MNRTF NO. TF09-013

Date Issued: February 22, 2011

Issued for: Bid Documents

5415 Crane Road, Ypsilanti, Michigan 48197

OWNER

Pittsfield Charter Township
6201 W. Michigan Avenue
Ann Arbor, Michigan 48108
(734) 822.3101

PITTSFIELD TOWNSHIP PARK COMMISSION

Members:

Cleveland Chandler, Chairperson
Theresa Tupacz, Vice Chair
Patricia Stanton-Kawalec, Secretary
Deborah Lennington
Karen Zera

PITTSFIELD TOWNSHIP PARKS AND RECREATION

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SURVEYOR

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BENCH MARKS

1. RAILROAD SPIKE IN W. SIDE OF 35" OAK (#1001) LOCATED AT THE N.W. PROPERTY CORNER.
ELEV.=819.47 NAVD 88
 2. RAILROAD SPIKE IN E. SIDE OF UTILITY POLE LOCATED ON THE E. SIDE OF CART SHACK.
ELEV.=829.18 NAVD 88
 3. RAILROAD SPIKE IN E. SIDE OF 20" SHAGBARK HICKORY (#1050). LOCATED IN MIDDLE OF SITE, W. OF HIGH TENSION LINE.
ELEV.=821.15 NAVD 88
 4. P.K. NAIL IN E. SIDE OF UTILITY POLE LOCATED 60'± N. OF N.E. PROPERTY CORNER.
ELEV.=799.41 NAVD 88
 5. RAILROAD SPIKE IN E. SIDE OF UTILITY POLE LOCATED IN THE CENTER OF GOLF COURSE, 550'± W. OF MUNGER ROAD.
ELEV.=819.24 NAVD 88
 6. T/BOLT WITH RIBBON ON N.W. SIDE OF TOWER LEG TO HIGH TENSION POWER LINE AT N. PROPERTY LINE.
ELEV.=821.50 NAVD 88
- 7.) COORDINATES SHOWN ARE BASED ON LOCAL COORDINATE SYSTEM. UTILIZE THE FOLLOWING INFORMATION FOR CONVERSION TO STATE PLANE COORDINATE SYSTEM:

CENTER SECTION 24 NORTH 1636.96' EAST 1915.47'	E ¼ CORNER SECTION 24 NORTH 1582.20' EAST 4572.67'
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MICHIGAN STATE PLANE COORDINATES (NAD 83 SOUTH ZONE)

CENTER SECTION 24 NORTH 258,979.60' EAST 13,312,157.84'	E ¼ CORNER SECTION 24 NORTH 258,979.11' EAST 13,314,815.61'
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LEGAL DESCRIPTION

LEGAL DESCRIPTION OF A 46.60 ACRE PARCEL OF LAND LOCATED IN THE NE 1/4 OF SECTION 24, T3S, R6E, PITTSFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

Beginning at the Center of Section 24, T3S, R6E, Pittsfield Township, Washtenaw County, Michigan; thence Northerly 313.98 feet along the North and South 1/4 line of said Section 24 and the centerline of Crane Road; thence Easterly deflecting 91°42' to the right 102.0 feet; thence Northerly deflecting 91°42' to the left 18.0 feet; thence Easterly deflecting 91°42' to the right 198.0 feet; thence Northerly deflecting 91°42' to the left 488.15 feet parallel with the North and South 1/4 line of said Section 24; thence Easterly deflecting 91°34' to the right 2359.80 feet along the North line of the South 50 acres of the Northeast 1/4 of said Section 24 and parallel with the East and West 1/4 line of said Section 24; thence Southerly deflecting 88°35'30" to the right 819.46 feet along the East line of said Section 24 and the centerline of Munger Road; thence Westerly deflecting 91°24'30" to the right 2657.53 feet along the East and West 1/4 line of said Section 24 to the Point of Beginning, being part of the Northeast 1/4 of said Section 24, T3S, R6E, Washtenaw County, Michigan.

Being more particularly described as (Survey):

Beginning at the Center of Section 24, T3S, R6E, Pittsfield Township, Washtenaw County, Michigan;

thence N 00°22'43" W 313.98 feet along the N-S 1/4 line of said Section 24 and the centerline of Crane Road (66 feet wide);
thence S 88°49'10" E 102.00 feet;
thence N 00°22'43" W 18.00 feet;
thence S 88°49'10" E 198.08 feet;
thence N 00°22'43" W 487.52 feet;
thence S 88°49'04" E 2359.80 feet along the South line of Hickory Pointe Subdivision No. 3 as recorded in Liber 32 of Plats, Pages 91-98, Washtenaw County Records and along the South line of Hickory Pointe Subdivision No. 4 as recorded in Liber 34 of Plats, Pages 76-80, Washtenaw County Records;
thence S 00°13'52" E 819.37 feet along the East line of said Section 24 and the centerline of Munger Road (66 feet wide) to the E 1/4 Corner of said Section 24;
thence N 88°49'10" W 2657.77 feet along the E-W 1/4 line of said Section 24 and the North line of Ashford Village No. 5 Subdivision as recorded in Liber 31 of Plats, Pages 1-8, Washtenaw County Records to the POINT OF BEGINNING. Being a part of the NE 1/4 of Section 24, T3S, R6E, Pittsfield Township, Washtenaw County, Michigan, and containing 46.60 acres of land, more or less. Being subject to the rights of the public over the Westerly 33.00 feet of Munger Road and the Easterly 33.00 feet of Crane Road and being subject to other easements and restrictions of record, if any.

Together with an easement for water line and underground electric cable over the following described property: Commencing at the Center of Section 24, T3S, R6E, Pittsfield Township, Washtenaw County, Michigan; thence Northerly 331.98 feet along the N-S 1/4 line of said Section 24 and the centerline of Crane Road; thence Easterly deflecting 91°42' to the right 142.0 feet for a Point of Beginning; thence Northerly deflecting 91°42' to the left 10.0 feet; thence Easterly deflecting 91°42' to the right 158.0 feet; thence Southerly deflecting 88°18' to the right 10.0 feet parallel with the N-S 1/4 line of said Section 24; thence Westerly deflecting 91°42' to the right 158.0 feet to the Point of Beginning, being a part of the NE 1/4 of said Section 24, T3S, R6E, Pittsfield Township, Washtenaw County, Michigan.

Being subject to:

Conservation Easement, as recorded in Liber 4637, Page 274, Washtenaw County Records.

Rights of the public or any governmental unit in any part of subject property taken, deeded, or used for street, road, or highway purposes.
Easement in favor of The Detroit Edison Company, as recorded in Liber 598, Page 169, Washtenaw County Records.

Grant in favor of The Detroit Edison Company, as recorded in Liber 1 of Grants, Page 298, Washtenaw County Records.

Subject to underground drain as recorded in Liber 1567, Page 12, Washtenaw County Records.(for benefit of home at 5281 Crane Road)

Terms, conditions, and provisions regarding land division and farming rights contained in the instrument recorded in Liber 4637, Page 275, Washtenaw County Records.

NOTES:

- 1.) BEARINGS ARE BASED ON ASHFORD VILLAGE NO. 5 SUBDIVISION AS RECORDED IN LIBER 31 OF PLATS, PGS. 1-6, WASHTENAW COUNTY RECORDS.
- 2.) LEGAL DESCRIPTION TAKEN FROM ABSOLUTE TITLE COMPANY FILE NO. 62635, DATED JANUARY 5, 2009.

SHEET INDEX

Sheet #	Sheet Name
S-01	Cover Sheet
S-02	Overall Existing Conditions Plan
S-03	Overall Site Plan
S-04	Existing Conditions and Demolition Plan - West
S-05	Existing Conditions and Demolition Plan - East
S-06	Existing Tree Inventory
S-07	Layout & Materials Plan - West
S-08	Layout & Materials Plan - East
S-09	SESC Plan - West
S-10	SESC Plan - East
S-11	Grading & Utilities Plan - West
S-12	Grading & Utilities Plan - East
S-13	Road and Path Plan & Profiles
S-14	Path Plan & Profile
S-15	Stormwater Management Plan
S-16	Pond Cross-Sections
S-16a	Storm Sewer Plan & Profile
S-17	Sanitary & Water Plan & Profiles
S-18	Storm System Calculations
S-19	Landscape Plan - West
S-20	Landscape Plan - East
S-21	Right-of-Way Enlargement
S-22	Right-of-Way Details
S-23	Site Details
S-24	Planting Notes & Details
S-25	Parking & Restroom Building Enlargements
S-26	Fire Protection Plan

S-27	Standard Soil Erosion Control Notes & Details
S-28	Standard Earthwork Specifications
S-29	Standard Storm Sewer Details & Specifications
S-30	Standard Sanitary Sewer Details
S-31	Standard Sanitary Sewer Specifications
S-32	Standard Water Main Details
S-33	Standard Water Main Specifications

A-1.0	Restroom Building Floor Plans & Schedules
A-2.0	Restroom Building Foundation Plan
	Restroom Building Reflected Ceiling Plan
	Restroom Building Roof Framing Plan
	Restroom Building Roof Plan
A-3.0	Restroom Building Exterior Elevations & Building Section
A-4.0	Restroom Building Wall Sections & Details
A-5.0	Restroom Building Interior Elevations & Details

M-0.1	Mechanical Sheet Index, Abbreviation List, and Symbol List
M-1.1	Underground Plumbing Floor Plan and Plumbing Floor Plan
M-2.1	Mechanical HVAC Floor Plan
M-3.1	Mechanical Details and Schedules

E-1.0	Symbol List, Lighting Fixture Schedule and One Line Diagram
E-1.1	Electrical Site Plan
E-2.1	Electrical Plans
E-3.1	Electrical Details and Diagrams

Seal

Landscape Architect / Engineer

B R
Beckett & Raeder
Landscape Architecture
Planning & Engineering

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Mechanical / Electrical Engineer

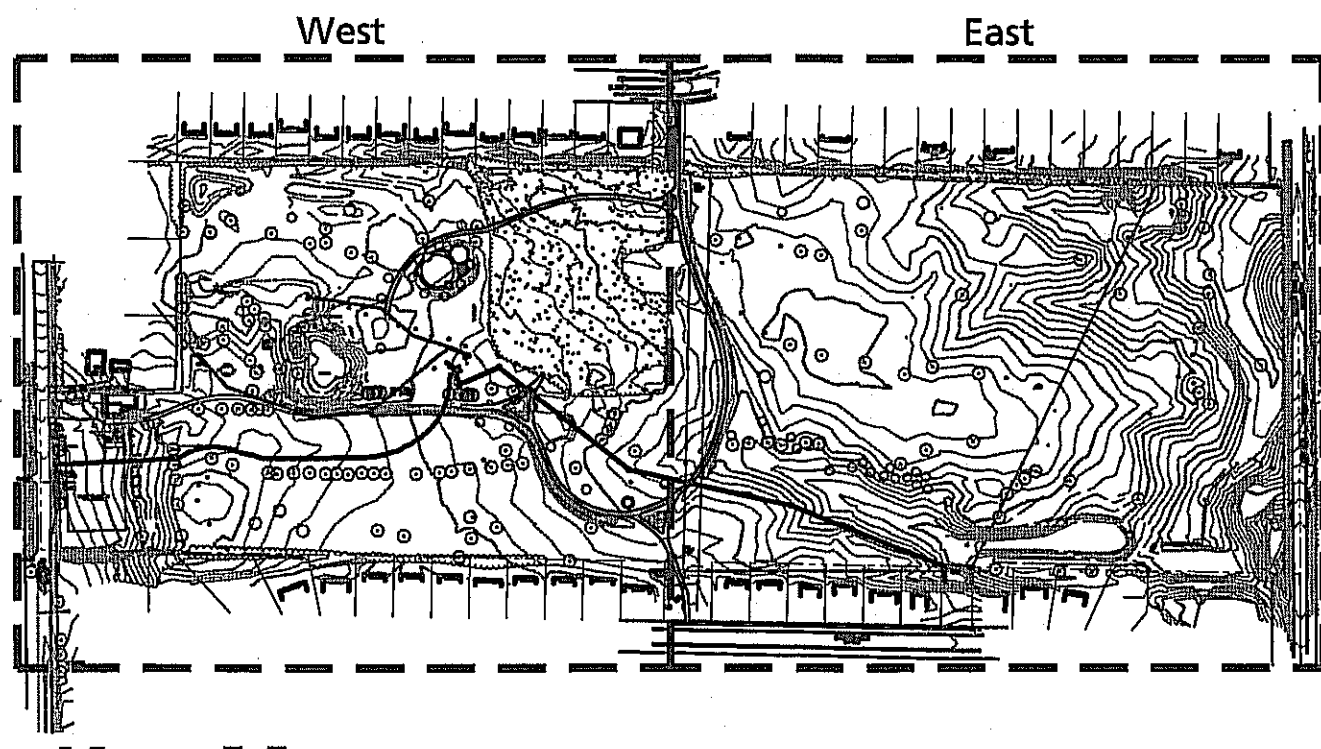
BERBIGLIA ASSOCIATES INC.
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(248) 489-3400 FAX (248) 489-3161

Structural Engineer

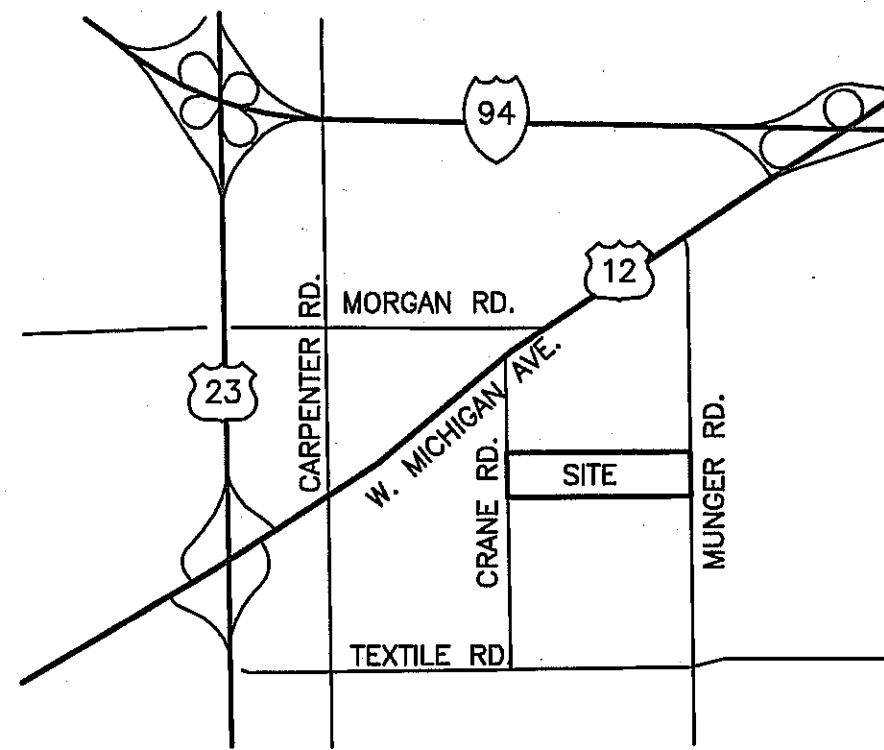
Structural Design Inc.
275 E. Liberty
Ann Arbor, MI 48104

734-213-6091



Key Map

Not to Scale



Location Map

Not to Scale

TOILET ACCESSORIES SCHEDULE

ITEM NO.	ROOM & ACCESSORIES	QUANT.	MANUFACTURER	MODEL NUMBER	FINISH	NOTES
WOMENS TOILET						
1	FRAMED MIRROR	1	BRADLEY	780-2436	STAINLESS STEEL FRAME	1
2	TOILET PAPER DISPENSER	2	ROYCE ROLLS	TP-2	STAINLESS STEEL, SATIN	3
4	HORIZ. GRAB BARS - 42"	1	BRADLEY	812-2 SERIES	STAINLESS STEEL	
5	HORIZ. GRAB BARS - 36"	1	BRADLEY	812-2 SERIES	STAINLESS STEEL	
6	VERTICAL GRAB BAR - 18"	1	BRADLEY	812-2 SERIES	STAINLESS STEEL	
7	ELECTRIC HAND DRYER	1	EXCELL	XL-SB	STAINLESS STEEL	2, 7
8	CHANGING STATION	1	BRADLEY	9612	HIGH DENSITY POLYETHYLENE	6

MENS TOILET						
1	FRAMED MIRROR	1	BRADLEY	780-2436	STAINLESS STEEL FRAME	1
2	TOILET PAPER DISPENSER	1	ROYCE ROLLS	TP-2	STAINLESS STEEL, SATIN	3
4	HORIZ. GRAB BARS - 42"	1	BRADLEY	812-2 SERIES	STAINLESS STEEL	
5	HORIZ. GRAB BARS - 36"	1	BRADLEY	812-2 SERIES	STAINLESS STEEL	
6	VERTICAL GRAB BAR - 18"	1	BRADLEY	812-2 SERIES	STAINLESS STEEL	
7	ELECTRIC HAND DRYER	1	EXCELL	XL-SB	STAINLESS STEEL	2, 7
8	CHANGING STATION	1	BRADLEY	9612	HIGH DENSITY POLYETHYLENE	6

TOILET ACCESSORIES SCHEDULE NOTES

- WALL MOUNTED MIRROR WITH THEFT RESISTANT MOUNTING. TO BE MOUNTED PER MICHIGAN BARRIER-FREE DESIGN REQUIREMENTS.
- PROVIDE CONCEALED WIRING AND POWER FOR ELECTRIC HAND DRYERS.
- LOCK & CLIP NOT REQUIRED; TO BE PROVIDED BY OWNER.
- VERIFY MOUNTING HEIGHT; TO MEET MICHIGAN BARRIER-FREE DESIGN REQUIREMENTS.
- SURFACE MOUNTED; VERIFY BARRIER-FREE MOUNTING HEIGHT.
- EXCEL, 'XLerator' AUTOMATIC HAND DRYER WITH STAINLESS STEEL COVER.

GENERAL TOILET ACCESSORIES NOTES

- A ALL TOILET ROOMS ARE TO MEET MICHIGAN BARRIER-FREE DESIGN REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MOUNTING HEIGHTS BEFORE INSTALLATION TO INSURE COMPLIANCE. MOUNTING MAY VARY DEPENDING ON MANUFACTURER SELECTED.

ROOM FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	CEILING		WALLS				REMARKS SCHEDULE NOTES
		TYPE	MAT'L	FINISH	NORTH	EAST	SOUTH	WEST	
GRADE LEVEL									
MENS TOILET	CFS	NONE	PLY-C	ST	CMU-P	CMU-P	CMU-P	CMU-P	1
WOMENS TOILET	CFS	NONE	PLY-C	ST	CMU-P	CMU-P	CMU-P	CMU-P	1
UTILITY ROOM	CFS	NONE	NO-C	STS	CMU-P	CMU-P	CMU-P	CMU-P	2
PORCH									

ABBREVIATIONS

CSF	LIGHT BROOMED CONCRETE FLOOR; WITH CLEAR HARDENER AND SEALER (STAIN PROTECTOR).
PLY-C	MDO PLYWOOD CEILING WITH WOOD BATTENS AND WOOD EDGE TRIM; PLYWOOD 1/2" THICK, PAINT.
CMU-P	EXPOSED STANDARD CMU; USE BLOCK FILLER AND PAINT.
NO-C	NO CEILING; EXPOSED ROOF TRUSSES AND ATTIC ABOVE.

FINISH SCHEDULE NOTES

- PROVIDE WOOD BLOCKING ABOVE PLYWOOD CEILING AS NECESSARY TO ACCOMMODATE PANELING LAYOUT AND TO SECURE LIGHT FIXTURES, VENTS, EXHAUST FANS, ECT.
- PROVIDE WOOD BLOCKING AS NECESSARY TO MOUNT LIGHT FIXTURES AND OVERHEAD DOOR TRACKS.

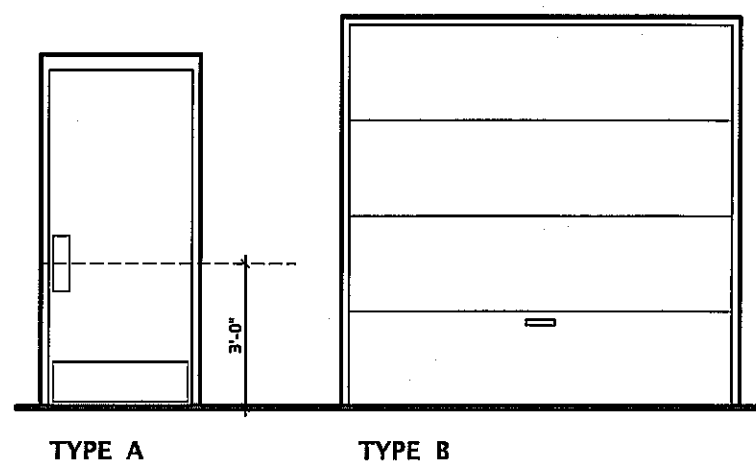
GENERAL FINISH NOTES

- A COLORS TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD SELECTION OF COLORS.

DOOR SCHEDULE

DOOR NUMBER	NO. OF DOORS	DOOR TYPE	INTERIOR / EXTERIOR	DOOR DESCRIPTION	FRAME TYPE	DOOR SIZE	FRAME SIZE	DOOR THICKNESS	GLAZING	THRESHOLD	HOW SET	SIGNAGE	DOOR FINISH	DOOR NOTES
101	1	A	EXTERIOR	HOLLOW METAL FLUSH DOOR	HOLLOW METAL	3'-0" X 7'-0"	3'-4" X 7'-4"	1 3/4"	NONE	ALUMINUM	1	RS	PAINTED	1, 3
102	1	A	EXTERIOR	HOLLOW METAL FLUSH DOOR	HOLLOW METAL	3'-0" X 7'-0"	3'-4" X 7'-4"	1 3/4"	NONE	ALUMINUM	1	RS	PAINTED	1
103	1	A	EXTERIOR	HOLLOW METAL FLUSH DOOR	HOLLOW METAL	7'-0" X 7'-0"	3'-4" X 7'-4"	1 3/4"	NONE	ALUMINUM	2	RS	PAINTED	1
104	1	B	EXTERIOR	MANUAL SECTIONAL OVERHEAD DOOR	SIM WOOD/MASONRY	8'-0" X 8'-0"	NA	1 3/4"	NONE	SLAB	STD		PAINTED	2

DOOR TYPES

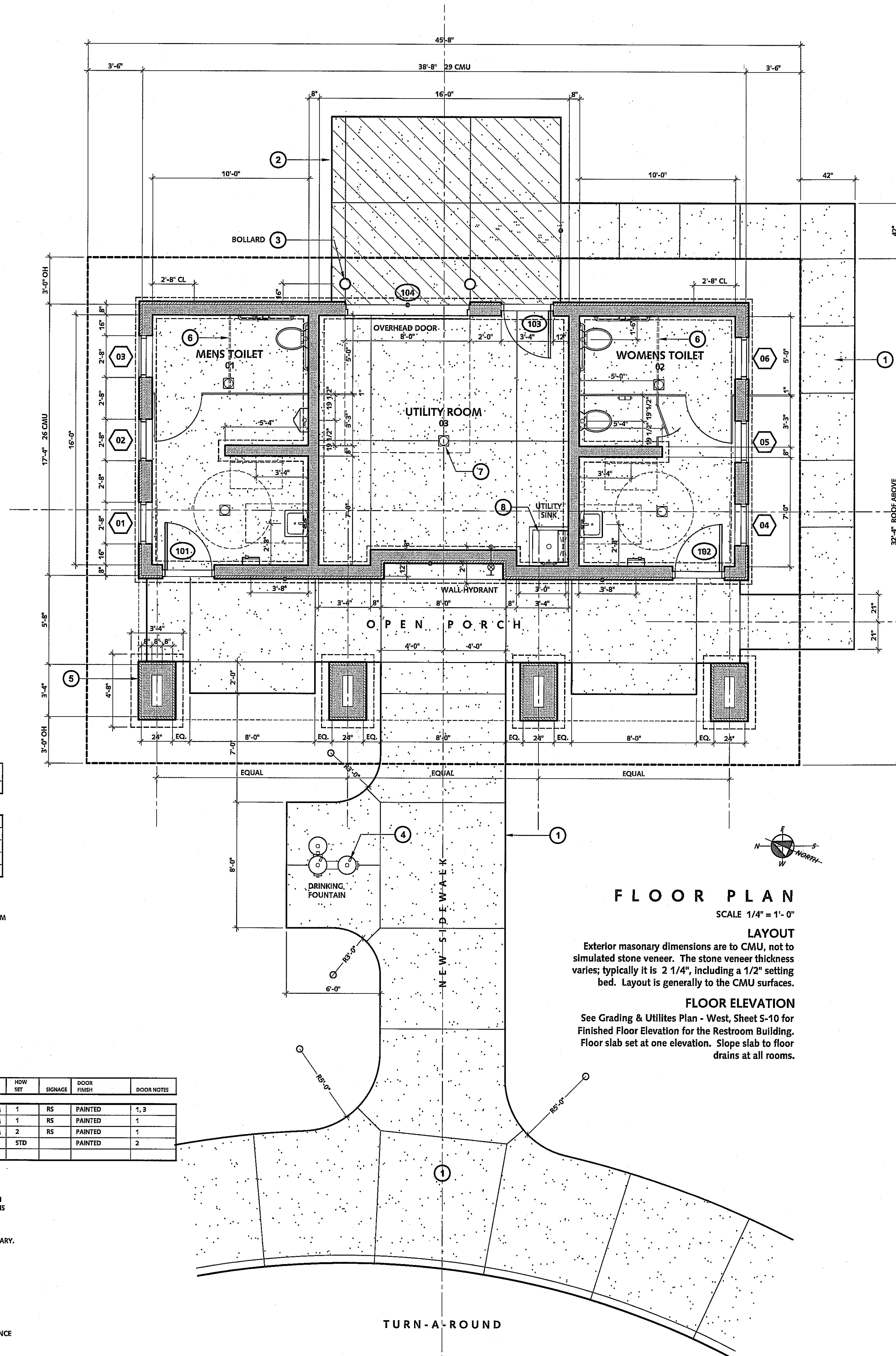


DOOR SCHEDULE NOTES

- RS = ROOM SIGN; EXTERIOR TO COMPLY WITH MICHIGAN BARRIER-FREE DESIGN REQUIREMENTS. SIGNAGE TO BE MOUNTED ON STAND-OFFS BECAUSE SIGNAGE IS LOCATED ON UNEVEN ASHLAR STONE.
- OVERHEAD DOOR TO BE MANUALLY OPERATED. TRACKS TO BE MOUNTED TO UNDERSIDE OF EXPOSED ROOF TRUSS FRAMING. PROVIDE BLOCKING AS NECESSARY. JAMB AND HEAD TRIM TO BE SIMULATED WOOD TRIM, PAINTED. DOOR TO BE LOCKABLE FROM THE INTERIOR WITH A KEY.
- ALL HOLLOW METAL DOORS AND FRAMES TO BE GALVANIZED.

GENERAL DOOR NOTES

- A ALL DOORS TO MEET BARRIER-FREE DESIGN REQUIREMENTS.
- B PROVIDE BARRIER-FREE EXIT DOOR SIGNAGE AND ROOM SIGNAGE IN ACCORDANCE WITH MICHIGAN BARRIER-FREE DESIGN REQUIREMENTS.
- C SEE HARDWARE SPECIFICATION FOR DOOR HARDWARE SETS.



DRAWING NOTES

- New concrete walk; see site drawing for details.
- Concrete parking pad for maintenance vehicle; see site drawing for details.
- 8" Dia. steel bollard with protective sleeve.
- 3 Bowl barrier-free drinking fountain.
- Porch pier.
- Overhead toilet partition brace.
- Typical floor drain.
- Floor sink with splash guards and wall mounted utility shelf. See plumbing plans.

BUILDING DATA

COVERED AREA	1005 GSF
ENCLOSED AREA	670 GSF
TOILET ROOM AREA	160 NSF, EACH - 320 NSF TOTAL
UTILITY ROOM AREA	244 NSF

BUILDING DESCRIPTION

The building's principal use is to provide public toilets for park users. This is intended to be a seasonal, summer use only. The building will also be used by park staff to maintain the toilet rooms and the park, in general.

The utility room will house the site electrical service and any future site lighting controls. Any future irrigation controls and backflow prevention would be housed here, as well. The parks department intends to store a gasoline powered 'ATV' like maintenance vehicle in the utility room. Container gas will be stored elsewhere.

The public toilet rooms are to be fully barrier-free accessible.

BUILDING CODE APPROACH TO COMPLIANCE

Applicable Code: Michigan Building Code - 2006

USE GROUP: 'U' UTILITY, Private Garage (due to storage of ATV)

CONSTRUCTION TYPE: TYPE II-B

Non-combustible masonry exterior walls, masonry interior walls/partitions, light gauge metal stud interior partitions, non-combustible light gauge metal truss roof framing.

No fire separation of Utility Room required.

ALLOWABLE HEIGHT & AREA: 2 STY - 8,500SF
Proposed 670GSF, easily within height and area requirements.

BARRIER-FREE ACCESSIBILITY: The public toilet rooms are intended to be fully accessible in compliance with the Michigan Building Code, Barrier-free Design Requirements.

FIRE SUPPRESSION: The building will not have a fire suppression system. It will be accessible by fire fighting equipment from the adjacent entry drive turn-a-round.

SELECT MATERIALS

Soil Supporting Foundations & Slabs	1,000 psf minimum allowable bearing capacity (to be field verified prior to construction)
Concrete Footings	3,000 psi @ 28 days.
Concrete Slab-on-Grade	4,000 psi @ 28 days (6% +/- 1% at all concrete, building not conditioned)
Reinforcing Bar	ASTM A-615 (grade 60)
Welded Wire Fabric	ASTM A-185 flat sheets
CMU	ASTM C-90 & C-145 Normal weight (assembly strength f'm=1500 psi)
Mortar Below Grade	ASTM C-270, Type M
Mortar Typical	ASTM C-270, Type S
Mortar Slim Stone	ASTM C-270, Type N
Grout in CMU Cores	ASTM C-476 (3000 psi at 28 days)
Grout Below Plates	Sikadur 42 Grout Pak (15,000 psi)
Structural Steel	ASTM A992 - Fy=50 ksi
Epoxy Bolts	HAS-E Standard ISO 898 Class 5.8 threaded rod, drilled and embedded with Hilti HIT HY 150 MAX Adhesive, provide screen inserts as needed.
Epoxy for Rebar	Hilti HIT HY 150 MAX Adhesive
Dimensional Lumber	Hem-fir No. 2 or SPF No. 2
Bolts-Wood Construction	SAE Gr. 2 or Gr. 5

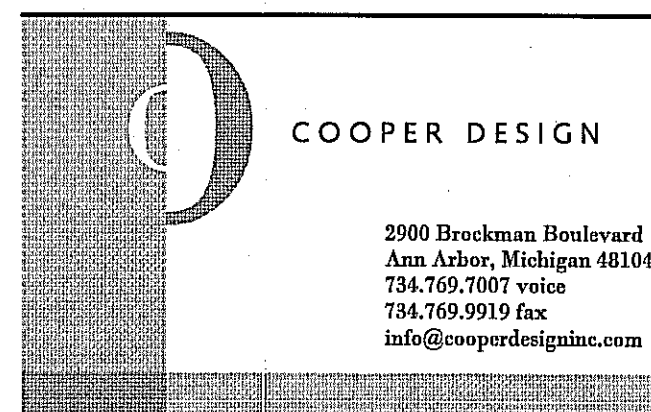
If there is a discrepancy between these material notes and the specifications, these notes shall supersede the specifications.

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Seal

Project Title

Pittsfield Township Parks
Parks Commission

HICKORY WOODS PARK
PHASE 1b IMPROVEMENTS

Pittsfield Township, MI

Sheet Title
Restroom Building

FLOOR PLAN
& SCHEDULES

Dates

02.22.11 Bid Documents

Scale

AS SHOWN

Quality Control

Drawn: GLC

Checked: GLC

Approved:

Project Number

201029

Sheet Number

A-1.0

MASONRY NOTES

CMU walls to have net compressive strength = 1500 psi, locate bars in center of wall and solid grout all reinforced cores and all cores below grade. rebar lap length = 3'-0", provide additional #5 vertical bars at door jambs, corners and at ends of walls. all walls to be doveled to footing or thickened slab below. dowels may be drilled and epoxied into thickened slab in lieu of being cast in place.

Connect intersecting walls per MS-05

Provide vertical control joints at each corner and at 20' max intervals along walls.

Top top of all cmu walls shall be tied to the trusses above. at bearing walls, provide connections per details, Sheet A-4.0. at interior partition walls, provide double 2x top plate attached per MS-11, with Simpson HTC clips at 24" o.c.. If wall falls between trusses, provide 2x6 blocking between truss bottom chords @ 24" o.c. for attachment of HTC clips.

See masonry typical details for more information.

SLAB-ON-GRADE NOTES

Slab on grade to be 5" thick, with 4,000 psi concrete, reinforced with 6x6 W2.9xW2.9 WWF, on polyethylene moisture barrier, over 5" thick layer of free-draining compacted granular fill, on compacted existing soil or engineered granular fill. Suitability of existing soil for support of floor slab to be verified by a geotechnical engineer prior to construction.

Slope slab to floor drains from corners of toilet and utility rooms.

Slab jointing is suggested on the floor plan, Sheet A-1.0. Submit to architect for approval plans for control joint layout. use construction joints or control joints to divide slab into areas of less than 300 square feet, with no side more than one-and-one-half times longer than any other side.

See slab typical details for more information

WOOD ROOF AND FRAMING PLAN NOTES

Roof over wood trusses to be 5/8" APA rated roof sheathing w/ H-clips and nailed w/ 10d @ 6" o.c.

Wood trusses to be designed and sealed by a P.E. licensed in the state of Michigan. see architectural drawings for profile of trusses. contractor to provide shop drawings indicating members, layout, connections, and relevant details for framing.

Design criteria as follows:
dead load: 15 psf top chord + 15 psf bottom chord
snow load: 30 psf snow typical

Install minimum erection bracing as required per ANSI/TPI 1-2002, NDS-97, and BCSI 1-03. all bracing shall remain in place permanently. provide additional bracing as noted on drawings and typical details.

Bottom chord temporary bracing and web member plane temporary bracing as specified in BCSI 1-03 figures B1-24 and

B1-26, as well as any bracing specifically indicated in the shop drawings, shall remain installed as permanent bracing. Additional permanent bracing, if required, is noted on plans.

If piggy back trusses are provided, temporary bottom chord bracing requirements of HIB-91 diagram F apply in the plane where the upper and lower trusses meet.

Note lateral load framing proposed at gable end walls at top of CMU wall and gable end wood framing.

FOUNDATION NOTES

Foundations to be 3000 PSI concrete, placed on soil prepared in accordance with the soils report, verified by a geotechnical engineer prior to placement. Provide 36" X 36" corner bars for each footing rebar.

If footing dowels for CMU are misplaced, cut bars and drill new footing dowels 9" into concrete with epoxy.

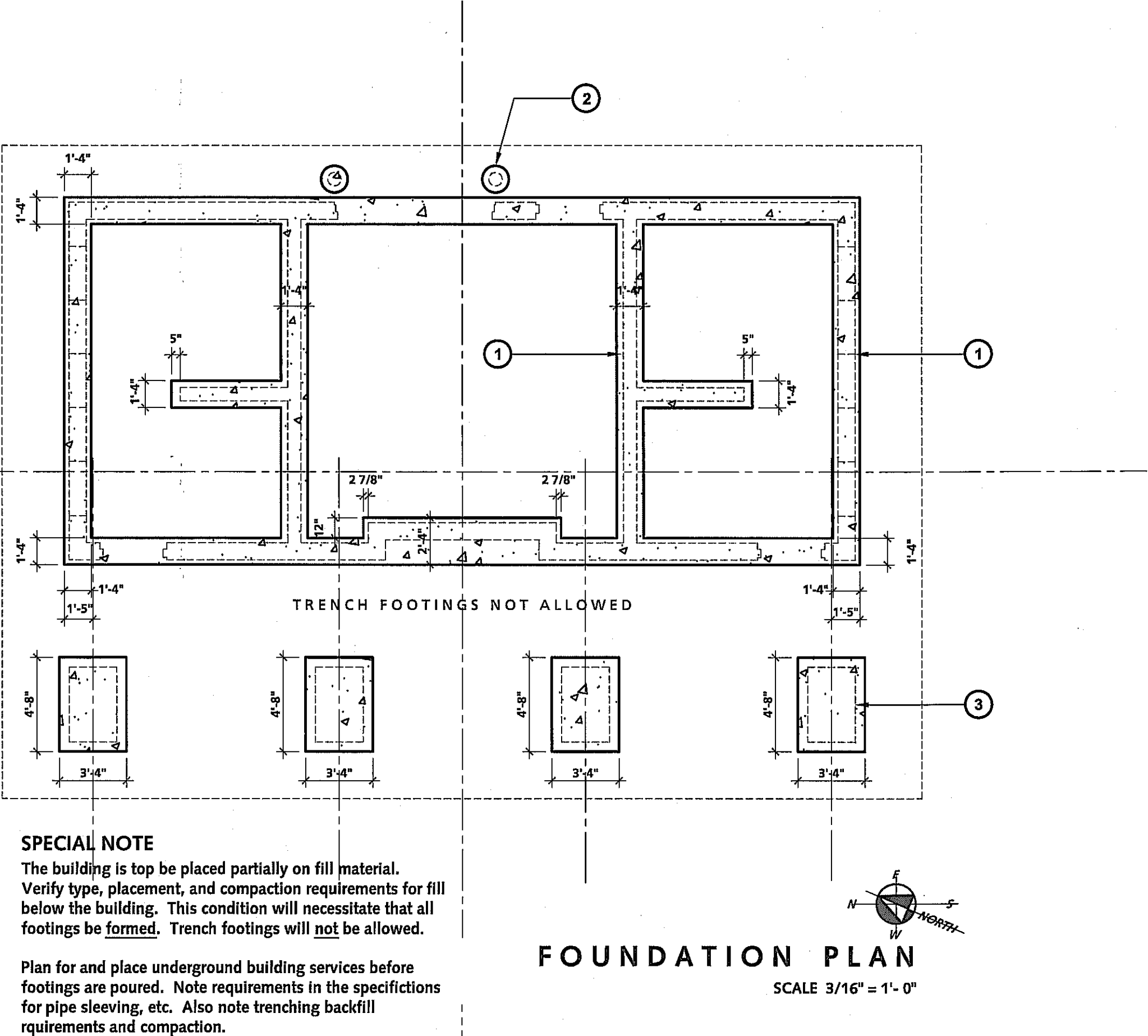
See wall sections for typical details for foundations.

All footings are proposed to be formed footings. Due to expected soil conditions, TRENCH FOOTINGS WILL NOT BE ALLOWED. Bottom of footing to be minimum of 48" below finished slab.

Minimum bearing capacity for all footings to be 1000 PSF.

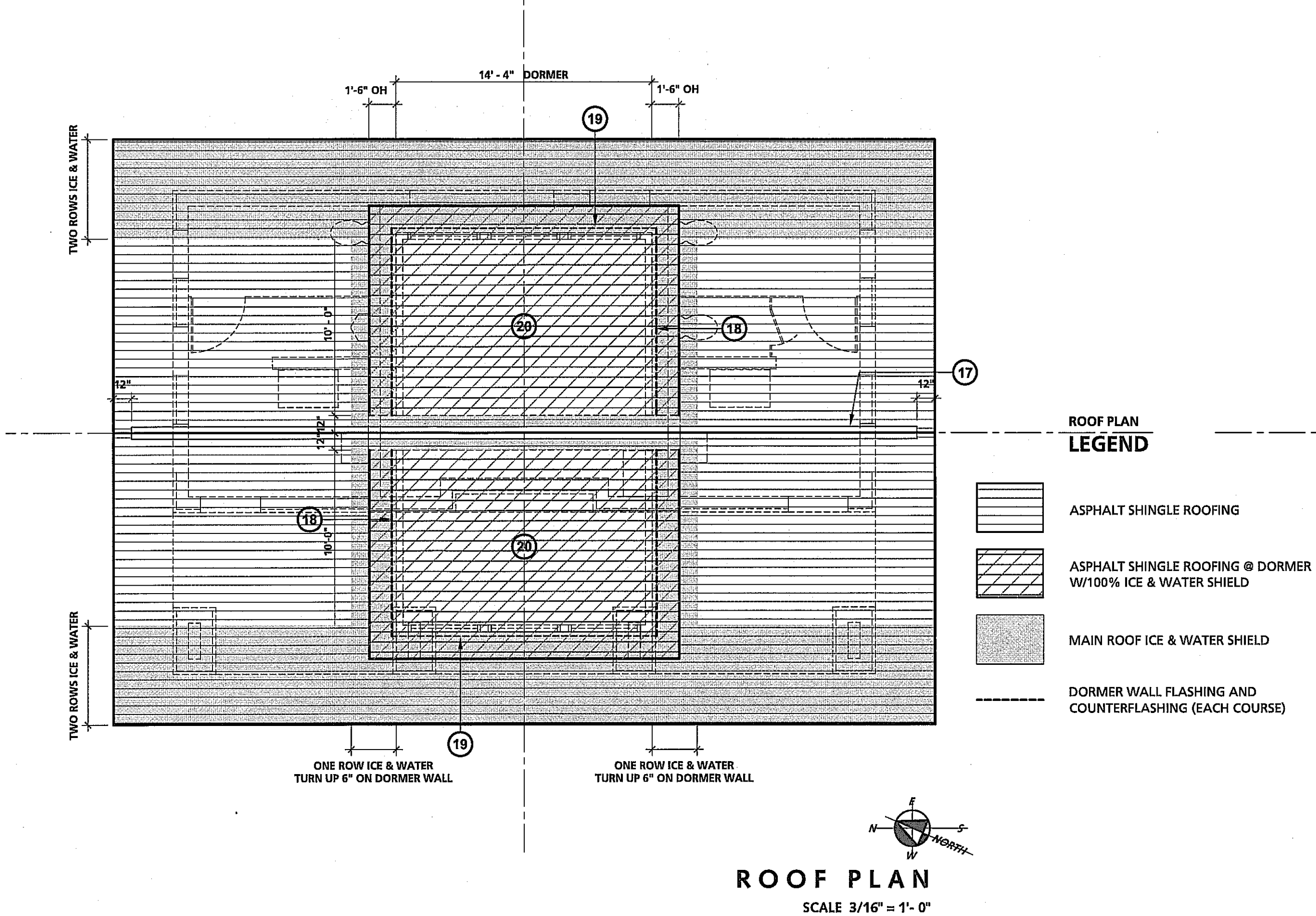
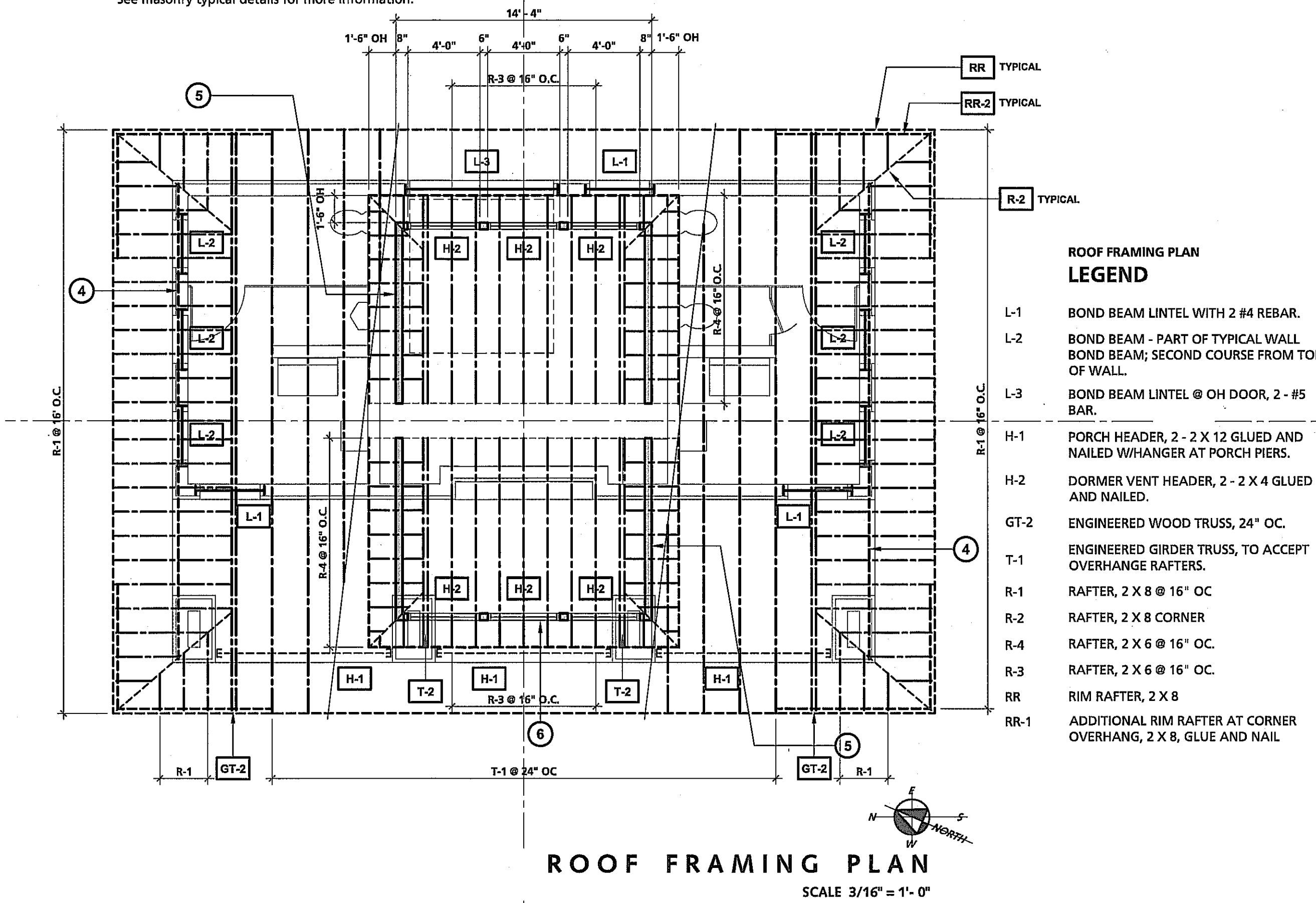
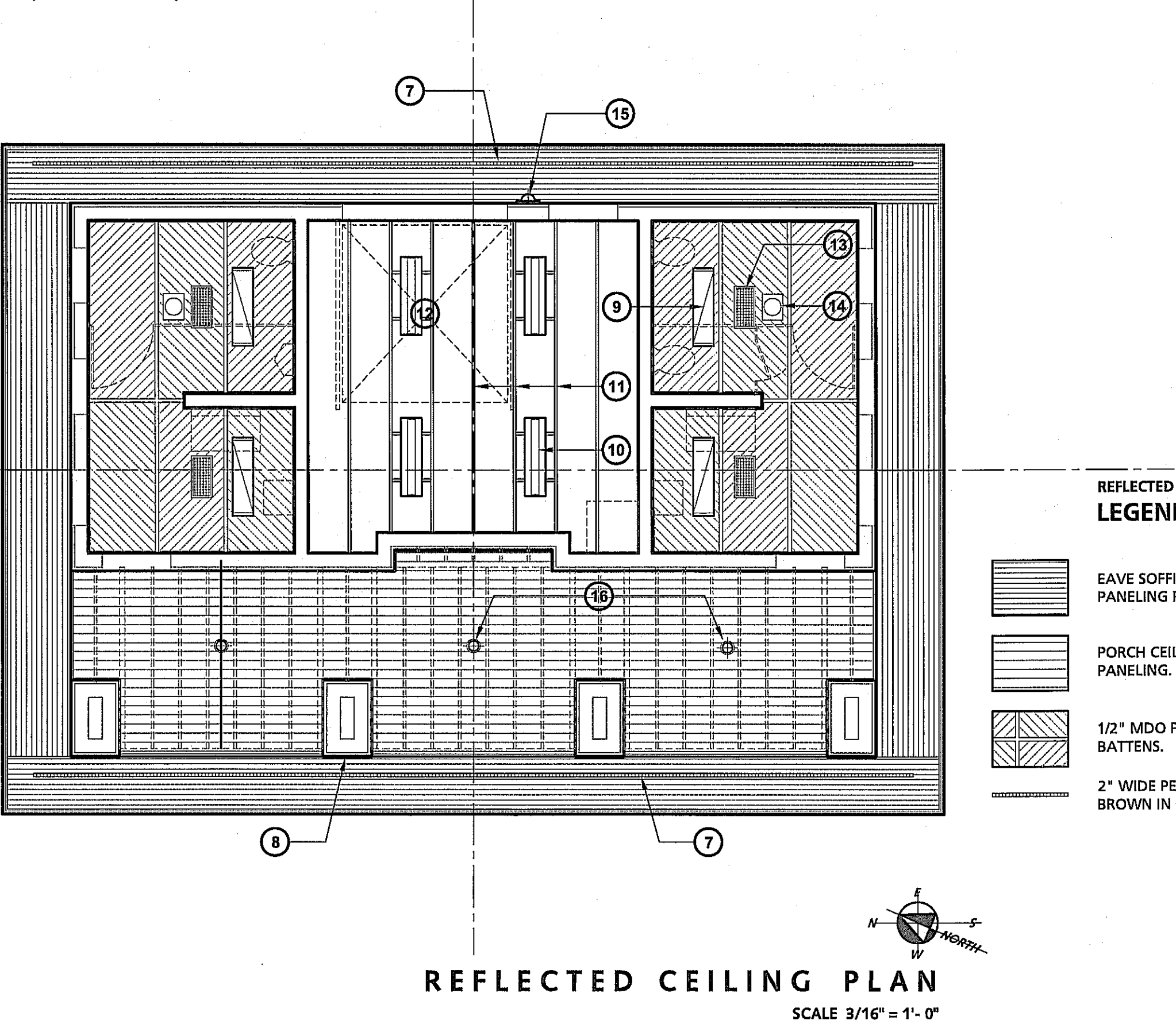
DRAWING NOTES

- 1 Reinforced concrete trench footing.
- 2 14" diameter X 42" deep bollard footing. See elevation, Sheet A-3.0
- 3 Typical reinforced concrete porch pier footing.
- 4 Gable end stud wall; 2 X 4's @ 16" O.C. with 1/2" sheathing to align with face of CMU below.
- 5 Dormer stud wall; 2 X 4's @ 16" O.C. with 1/2" sheathing.
- 6 Aluminum dormer vents; 3 per dormer.
- 7 2" perforated soffit vent; dark brown in color.
- 8 Typical porch pier.
- 9 Ceiling mounted toilet light.
- 10 Utility light; provide blocking as need to properly suspend. suspend above height of overhead door in up position.
- 11 No ceiling in utility room; trusses exposed.
- 12 Overhead door in up position.
- 13 Ceiling vent, typical. See mechanical plans.
- 14 Ceiling fan.
- 15 Wall mounted exterior light.
- 16 Recessed downlight.
- 17 Shingled ridge vent.
- 18 Dormer flashing and stepped counter flashing at dormer wall.
- 19 Flashing at face of dormer; flash over shingles.
- 20 100% ice & water shield at dormer roof.



SPECIAL NOTE
The building is to be placed partially on fill material. Verify type, placement, and compaction requirements for fill below the building. This condition will necessitate that all footings be formed. Trench footings will not be allowed.

Plan for and place underground building services before footings are poured. Note requirements in the specifications for pipe sleeving, etc. Also note trenching backfill requirements and compaction.



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Project Title

Pittsfield Township Parks
Parks Commission

HICKORY WOODS PARK
PHASE 1b IMPROVEMENTS
Pittsfield Township, MI

Sheet Title
Restroom Building
FOUNDATION PLAN
REFLECTED CEILING PLAN
ROOF FRAMING PLAN
ROOF PLAN

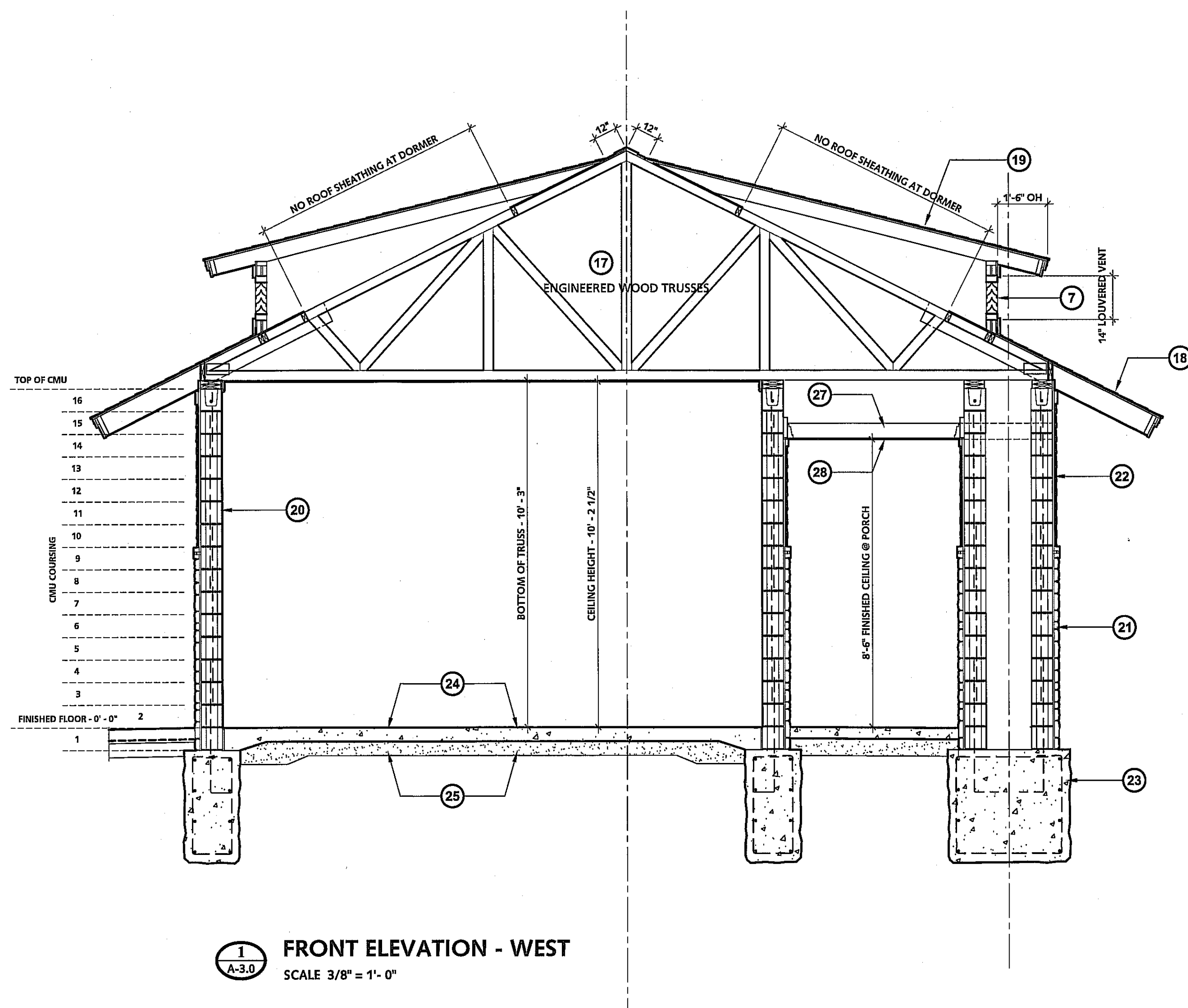
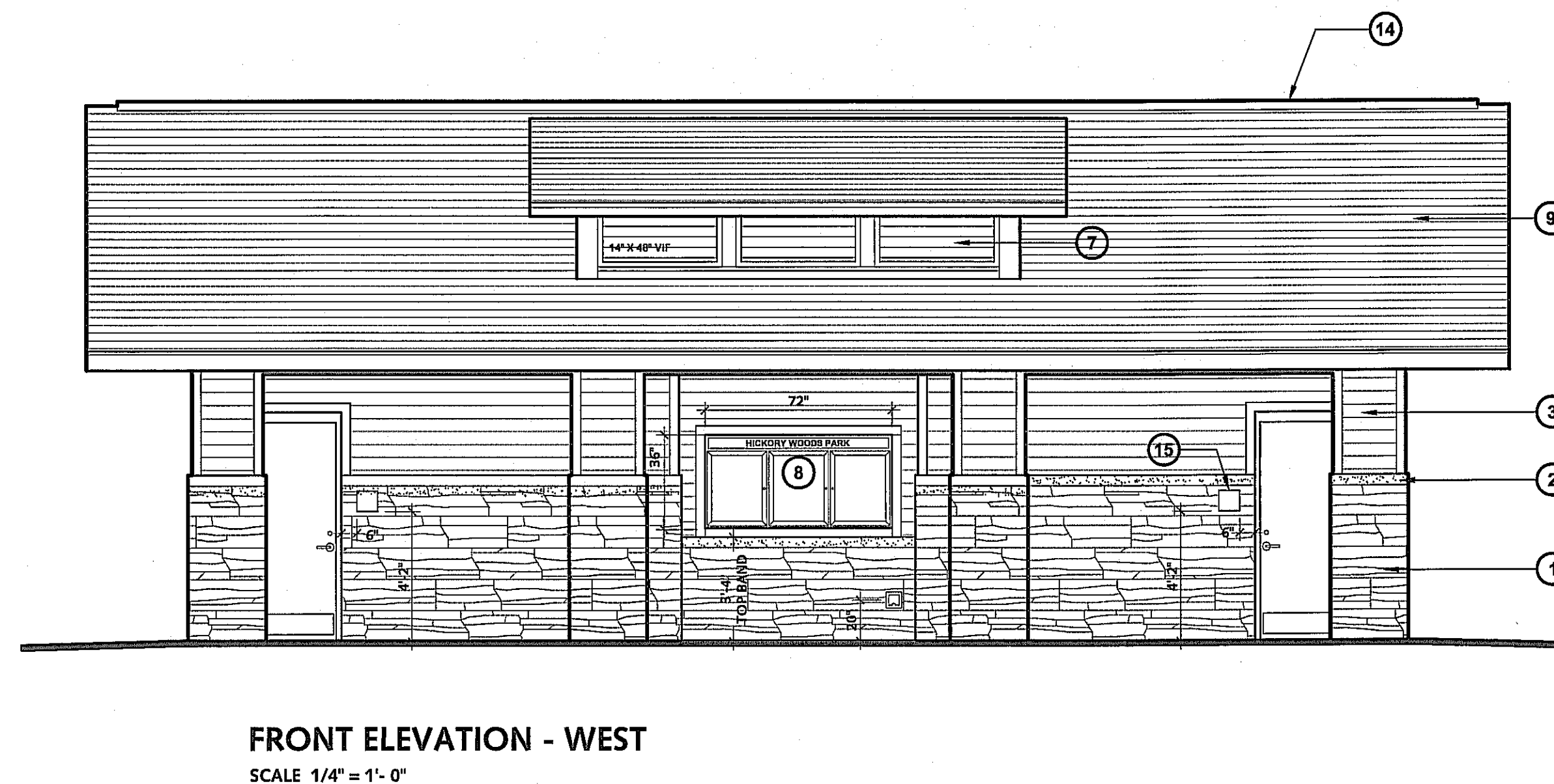
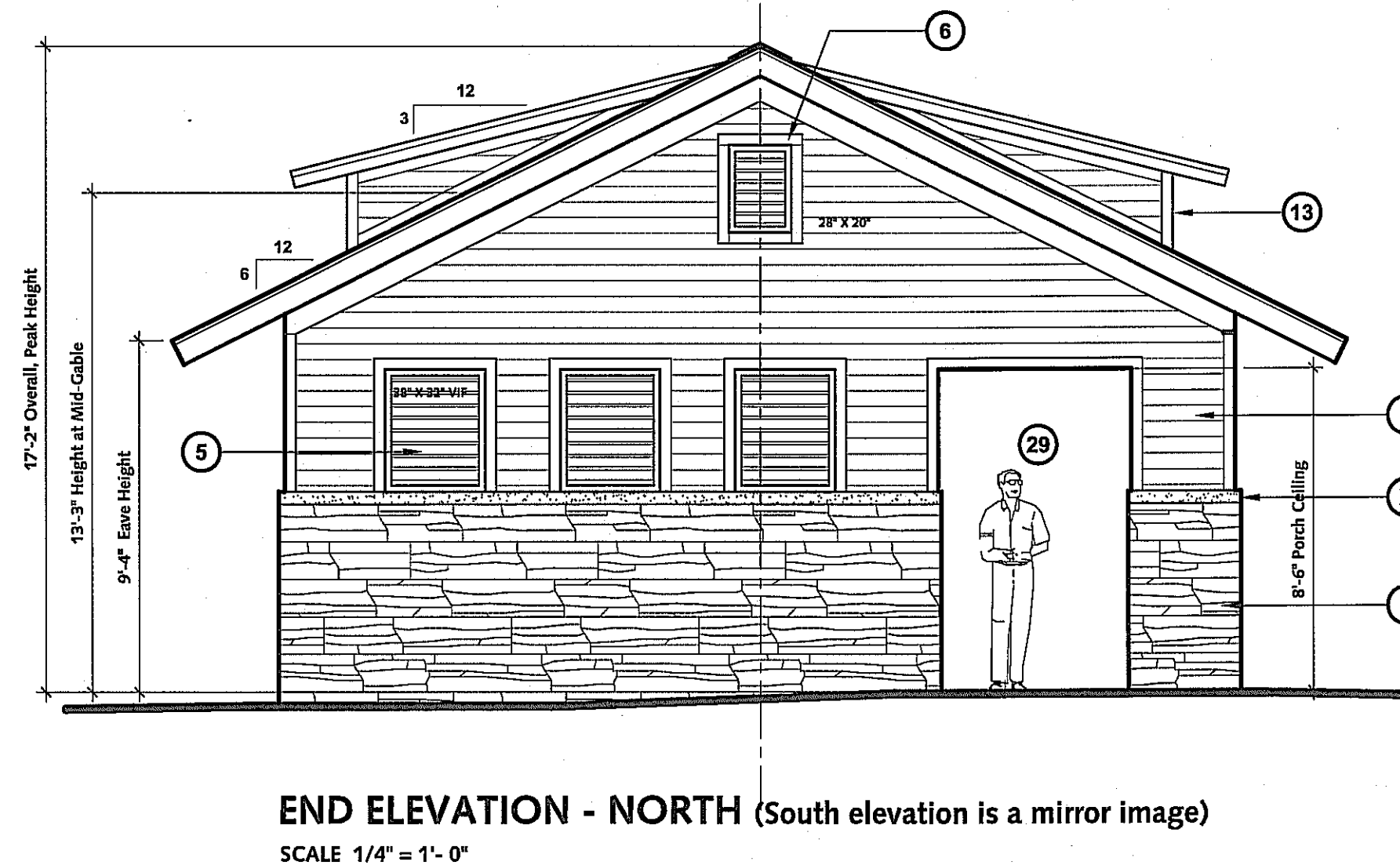
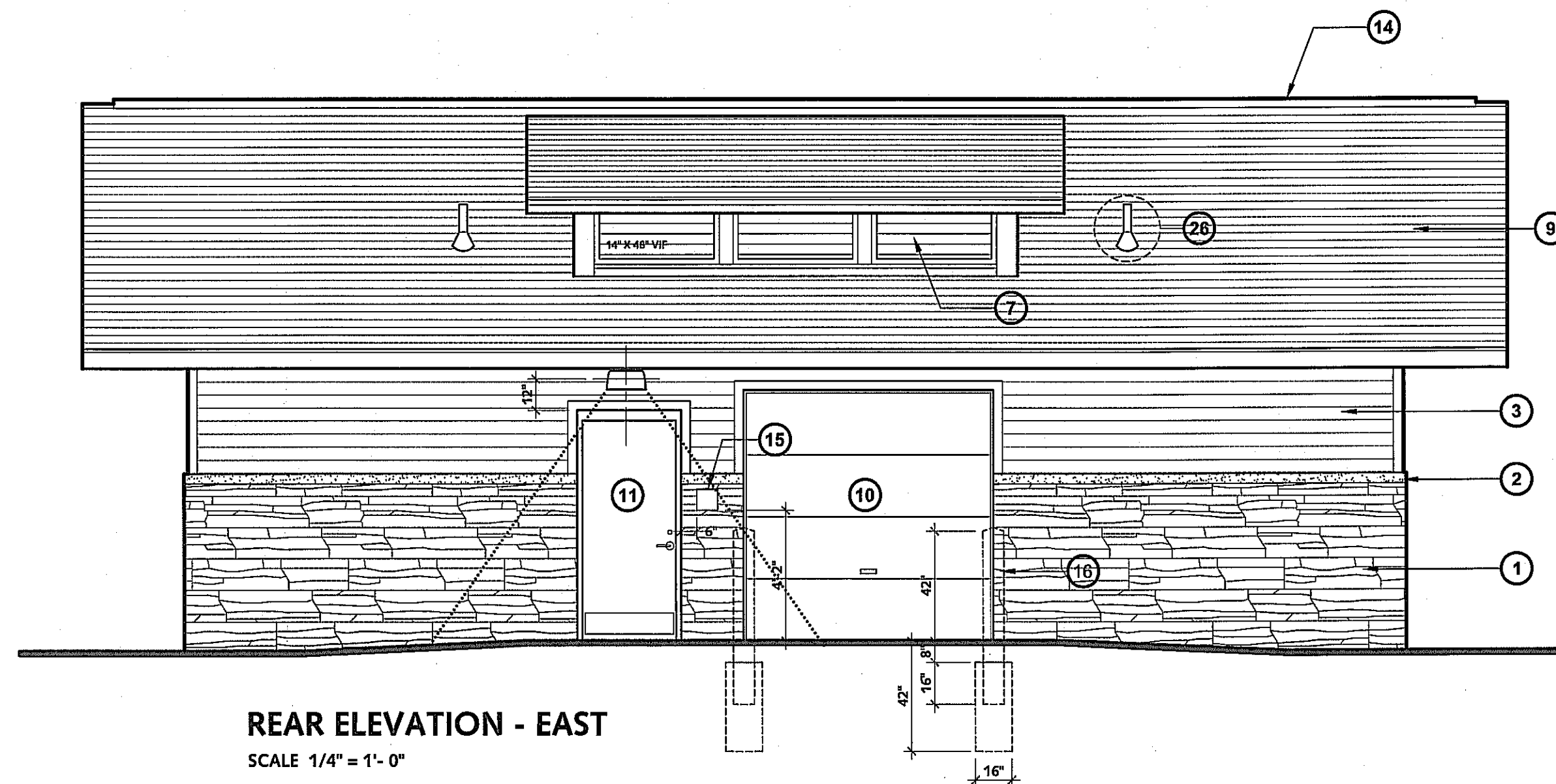
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Project Number
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Sheet Number
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DRAWING NOTES

- 1 Simulated ashlar stone veneer.
- 2 Cast stone water table band.
- 3 Simulated wood siding; painted, with simulated wood trim; 5/4 X 4.
- 4 Covered, open porch.
- 5 Toilet vents; louvered vents; screened, sightproof, painted aluminum.
- 6 Gable end attic vent; louvered vents; screened, sightproof, painted aluminum.
- 7 Dormer attic vents; louvered vents; screened, sightproof, painted aluminum.
- 8 Bulletin board; aluminum frame, glass panels.
- 9 Asphalt shingle roof.
- 10 Sectional overhead door; pre-painted aluminum.
- 11 Painted hollow metal door.
- 12 Porch pier.
- 13 Dormer.
- 14 Shingled ridge vent.
- 15 8" X 8" - Barrier-free door signage with braille. Provide stand-off outlining due to rough face of ashlar stone veneer.
- 16 8" diameter steel bollard with plastic sleeve; yellow. Install footing as shown: 16" dia. X 42" below grade (hold below slab). Embed steel bollard min. of 16" into foundation; 24" below grade. provide an expansion joint around each bollard, caulk.
- 17 Engineered roof trusses.
- 18 2 X 8 Eave outrigger.
- 19 Dormer roof.
- 20 typical reinforced 8" CMU wall.
- 21 Simulated stone veneer.
- 22 Cement board lap siding over 1 X furring.
- 23 Reinforced concrete pier trench footing.
- 24 Five reinforced concrete slab.
- 25 Compacted sand base.
- 26 Paint exposed PVC at roof vents medium brown to match roof.
- 27 2 X 6 wood ceiling framing at porch; 16" O.C. Install 2 X wall mounted 'nailer', use joist hangers to attach ceiling joists, as shown.
- 28 Cement board ceiling; manufacturer's standard soffit material.
- 29 Open porch.

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**Pittsfield Township Parks
Parks Commission**

**HICKORY WOODS PARK
PHASE 1b IMPROVEMENTS**

Pittsfield Township, MI

Sheet Title

Restroom Building

EXTERIOR ELEVATIONS
& BUILDING SECTION

Dates

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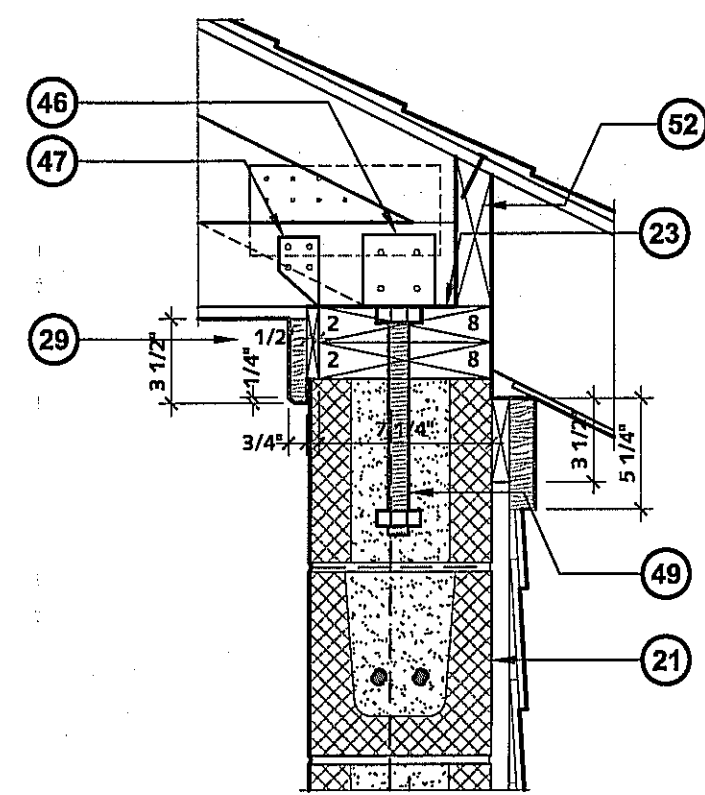
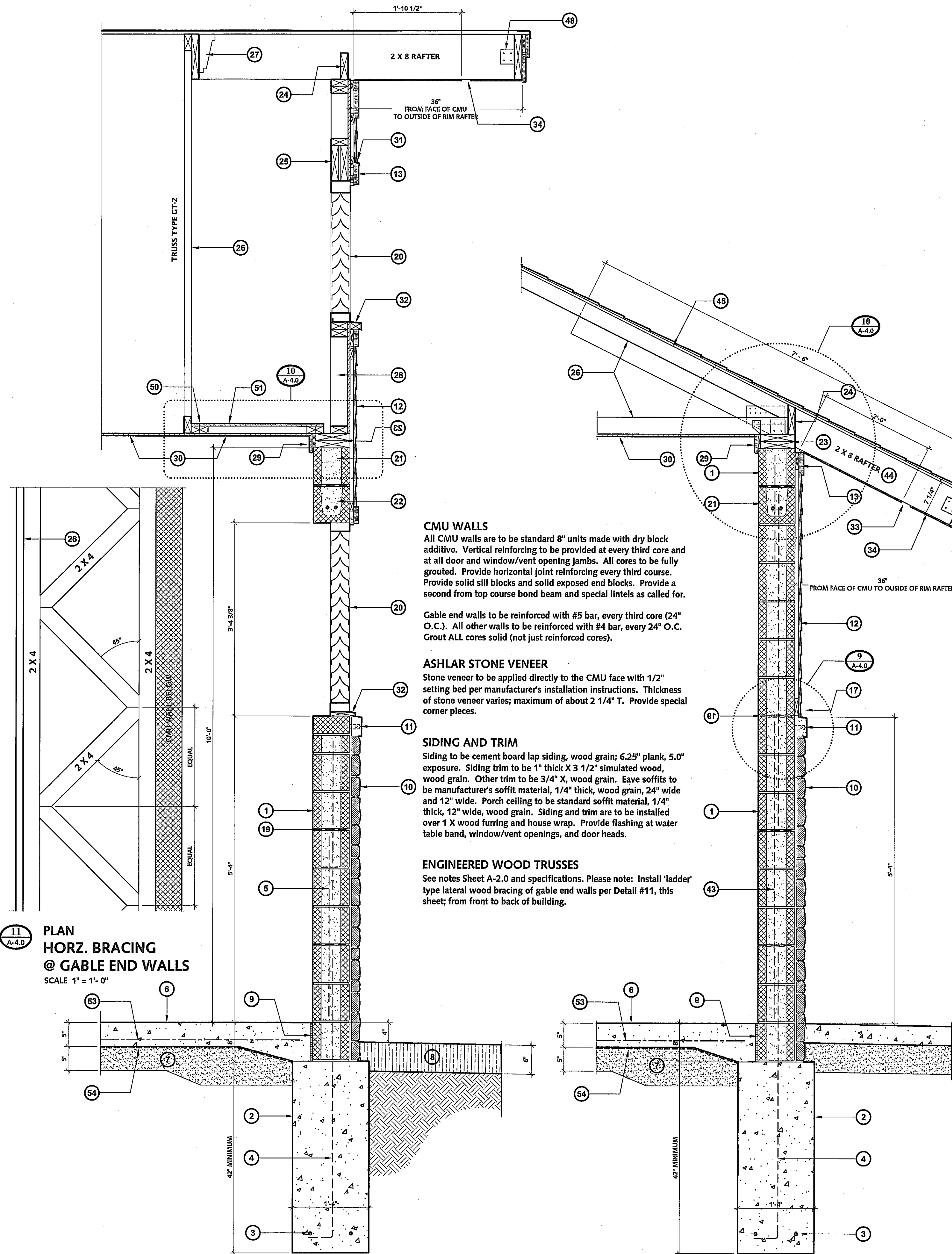
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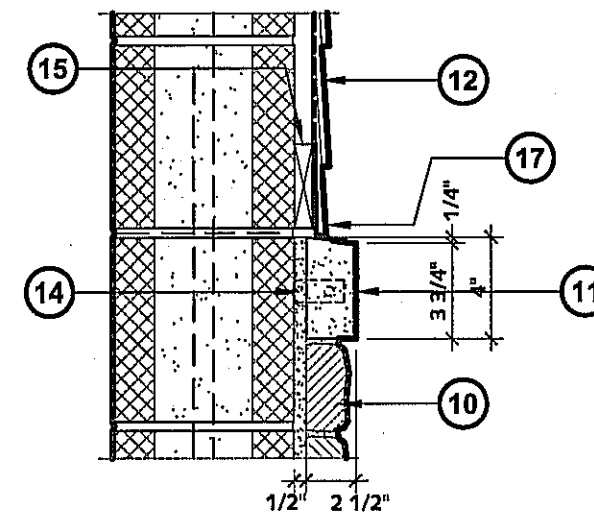
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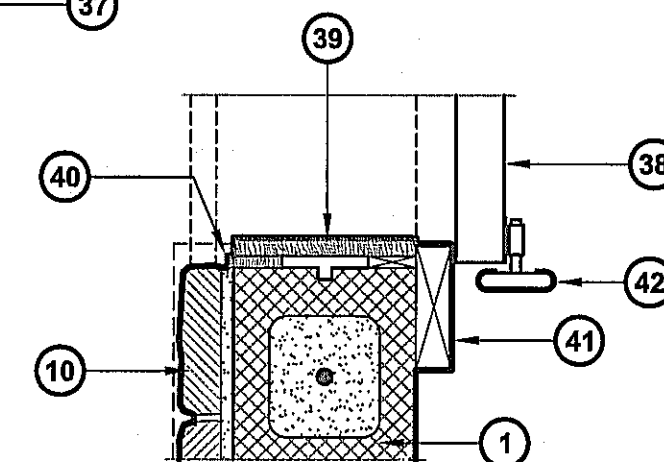
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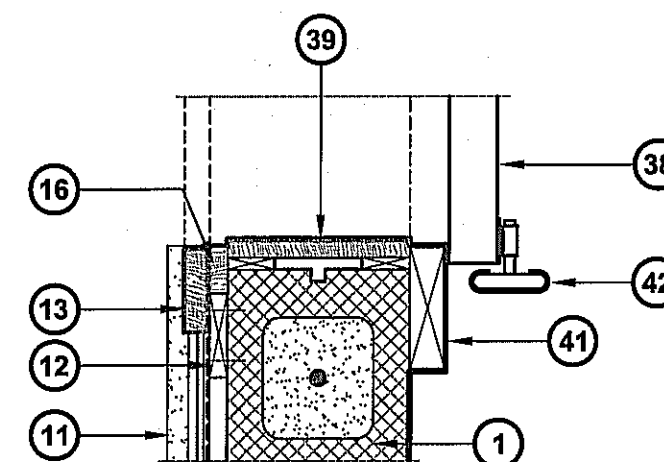
10 TOP OF WALL - TYPICAL
SCALE 1 1/2" = 1'-0"



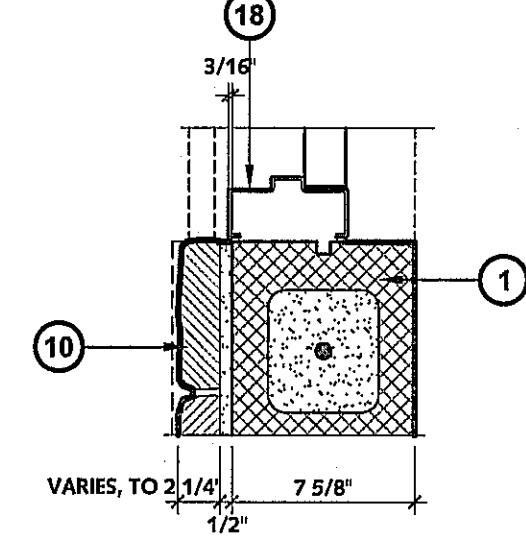
9 WATER TABLE BAND
SCALE 1 1/2" = 1'-0"



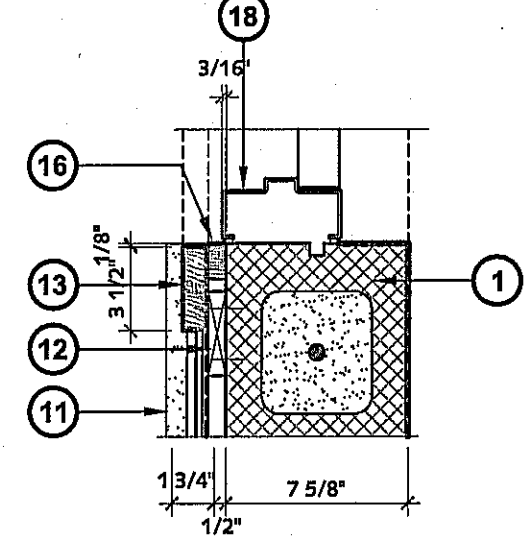
7 PLAN SECTION
OH DOOR JAMB @ SIM STONE
SCALE 1 1/2" = 1'-0"



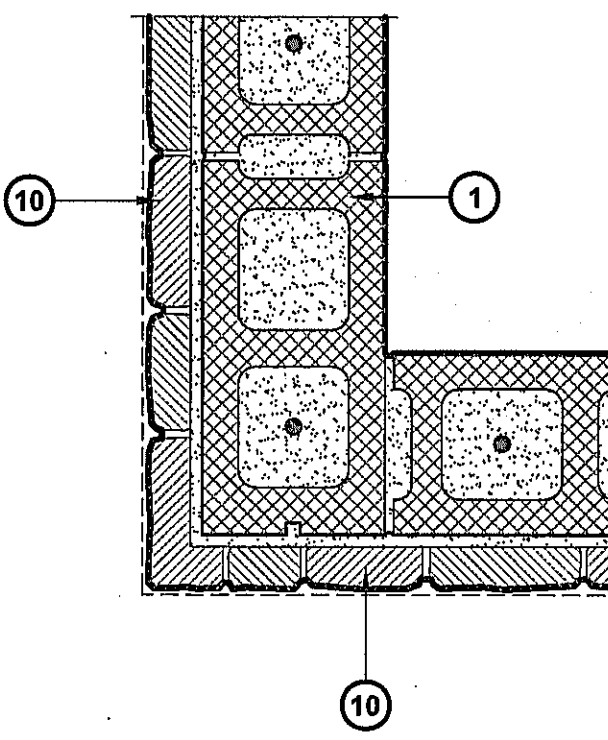
8 PLAN SECTION
OH DOOR JAMB @ SIDING
SCALE 1 1/2" = 1'-0"



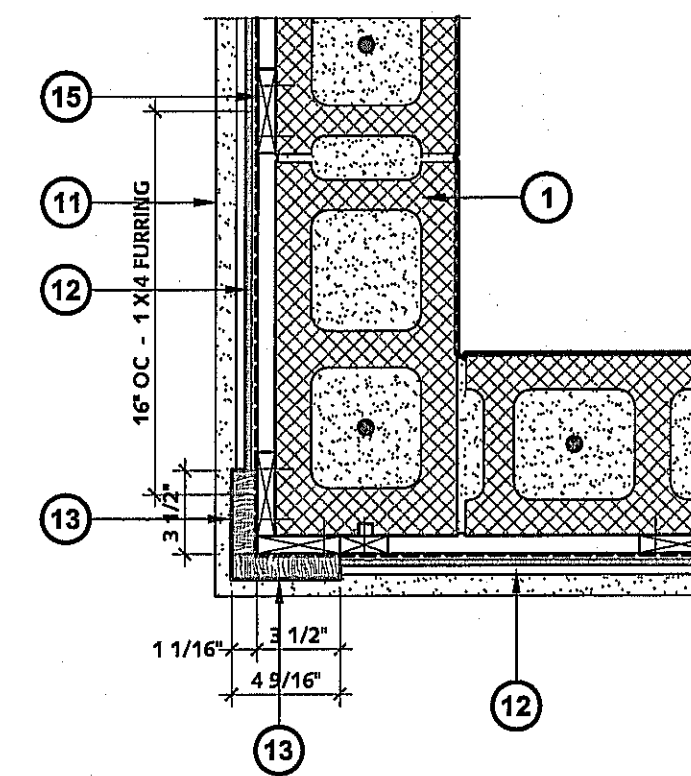
5 PLAN SECTION
DOOR JAMB @ SIM STONE
SCALE 1 1/2" = 1'-0"



6 PLAN SECTION
DOOR JAMB @ SIDING
SCALE 1 1/2" = 1'-0"



3 PLAN SECTION
WALL SECTION @ SIM STONE
SCALE 1 1/2" = 1'-0"



4 PLAN SECTION
WALL SECTION @ SIDING
SCALE 1 1/2" = 1'-0"

DRAWING NOTES

- 8" CMU, grout all cores solid.
- Reinforced concrete footing. All footings MUST be formed due to soil conditions.
- 2 #5 Bar, horizontal, continuous.
- #5 Bar, vertical, @ 16" OC.
- #5 Bar every third core, vertically. Grout solid.
- 5" Reinforced concrete slab.
- 5" Compacted sand base.
- Topsoil; see site drawings.
- 1/2" Expansion joint, caulk.
- Ashlar simulated stone veneer.
- Cast stone water table band.
- Cement board lap siding over 1 x wood furring and building wrap.
- 5/4 Simulated wood trim; typical at siding.
- Galvanized strap and stainless steel pins at joints to attach to wall.
- 1 X 4 Wood blocking, typical.
- 1 X 2 Simulated wood trim.
- Metal flashing @ bottom of siding, top of water table band.
- Hollow metal door and frame.
- Ladder type joint reinforcing every third course vertical; galvanized.
- Louvered vent with insect screen.
- Continuous bond beam, all walls, with 2 - #4 bar continuous, grout solid.
- Bond beam lintel.
- Double 2 X 8 bearing plate; see tie down requirements, Detail #10.
- 2 X 6 wood blocking between trusses.
- 2 - 2 X 8 Header at attic vent.
- Engineered wood truss.
- Reversed joist hanger at overhang rafters.
- Gable end stud wall: 2 X 4 wood studs @ 16" OC. with 1/2" OSB sheathing.
- 1 X 4 wood trim @ ceiling with 1/4" chamfer, paint.
- 1/2" MDO plywood ceiling.
- Head flashing.
- Sill flashing over preservative treated wood sill.
- Simulated wood soffit.
- Continuous perforated soffit vent.
- Drip edge.
- 1 X 6 Simulated wood trim.
- 1 X 4 Simulated wood trim.
- Sectional overhead door and track.
- 1 X simulated wood trim at Jamb and head.
- 1/2 X simulated wood trim and blocking.
- 2 X 6 preservative treated wood blocking.
- OH Door track.
- #4 Bar every third core, vertically. Grout solid.
- 2 X 8 Overhang rafter to be nailed to truss member with two rows of 10d nails at 12" O.C., use structural grade adhesive between boards.
- 5/8" APA rated roof sheathing with H-clips and nailed with 10d @ 6" O.C. to trusses.
- Simpson A33 angles near and far sides of truss.
- Simpson H# connector near and far sides of truss.
- Simpson A33 angles near and far sides of rafter end.
- Plate tie down: 5/8" X 9" threaded rod with heavy hex each end, every 32" O.C.
- 2 X 4 wood framing (bracing) between end wall top plate and first truss; see Detail 11 for plan layout. Glue framing to MDO plywood ceiling (do not nail).
- 1/2" OSB glued and nailed over 2 X 4 bracing below.
- 2 X wood blocking between trusses, each with 3 - 16d nails to sheathing and to blocking on CMU. Alternate block heights between full height (to sheathing) and 2" below to allow venting.
- 6 X 6 W2.9 X W 2.9 WWF reinforcing mesh.
- Polyethylene moisture barrier below slab.

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Pittsfield Township Parks
Parks Commission

HICKORY WOODS PARK
PHASE 1b IMPROVEMENTS

Pittsfield Township, MI

Sheet Title

Restroom Building

WALL SECTIONS
& DETAILS

Dates

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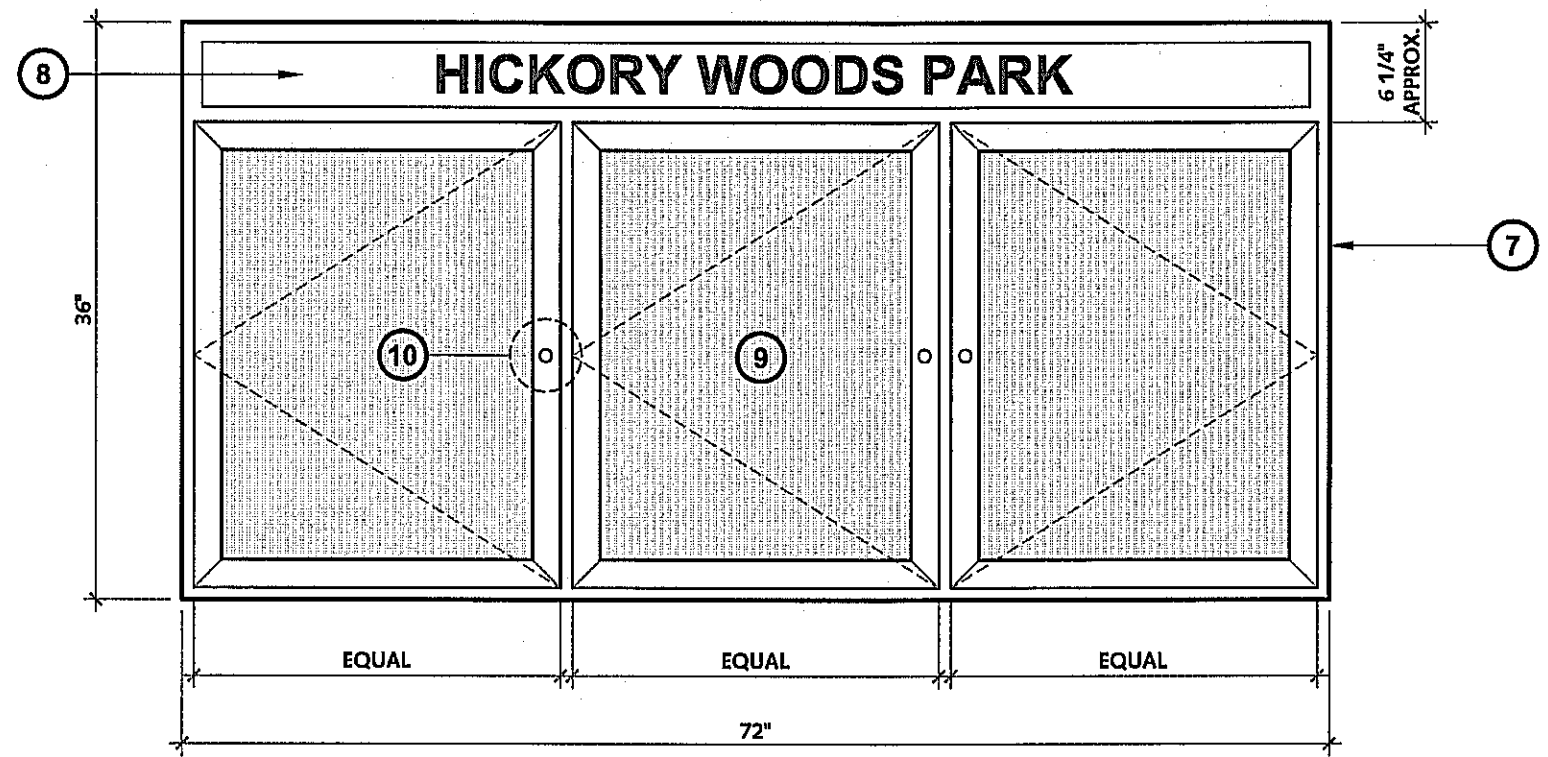
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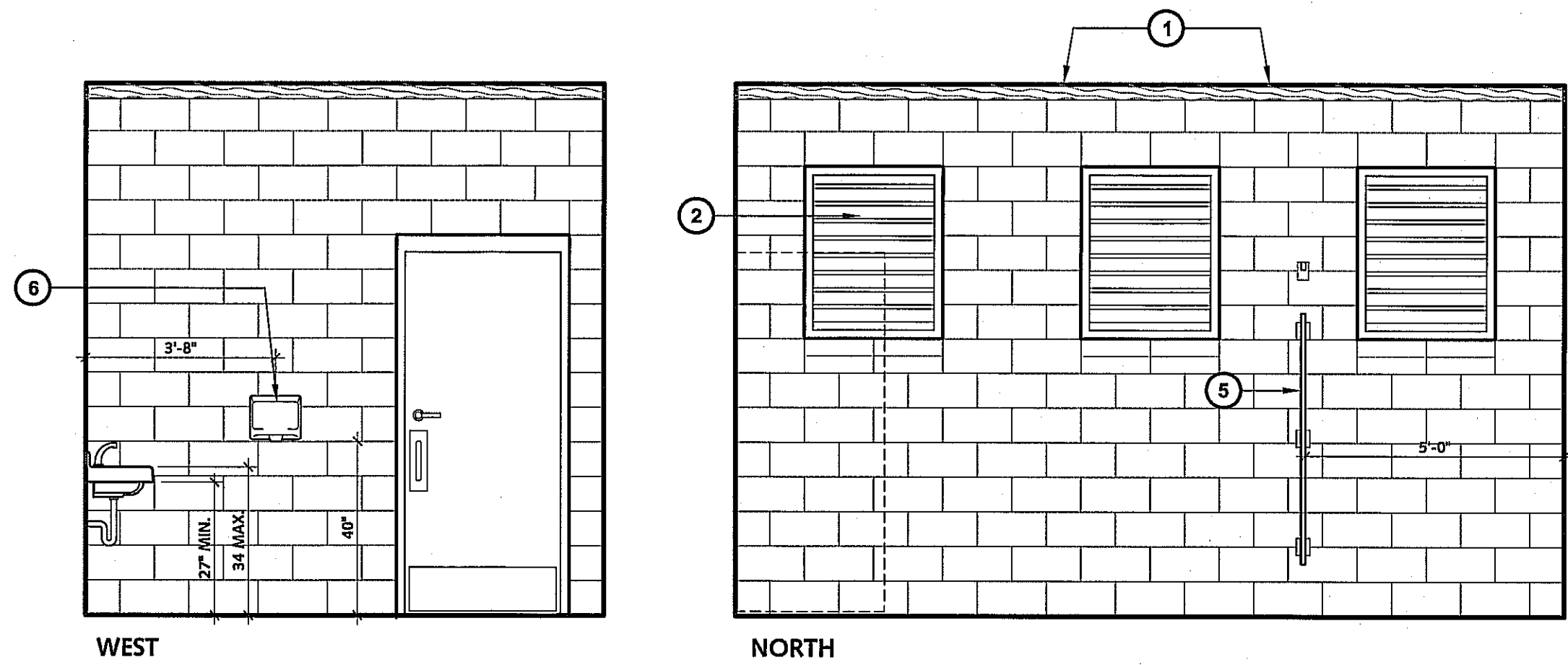
DRAWING NOTES

- 1 X Wood trim wuth 1/4" chamfer, paint.
- Site-proof, painted aluminum louvered vents with insect screens.
- Wall mounted mirror.
- Wall mounted baby changing station .
- Floor mounted and overhead braced toilet partitions.
- Wall mounted electric hand dryer.
- Aluminum frame; clear anodized.
- Header with vinyl message panel.
- Door panel with laminated safety glass; each cabinet. Tack board surface inside of each of three cabinets.
- Keyed lock; each door.
- Solid CMU sill block, typical.
- Insulation at water supply and drain piping in accordance with Michigan Barrier-free Design Requirements; see Plumbing Plans, typical.
- Overhead partition bracing.

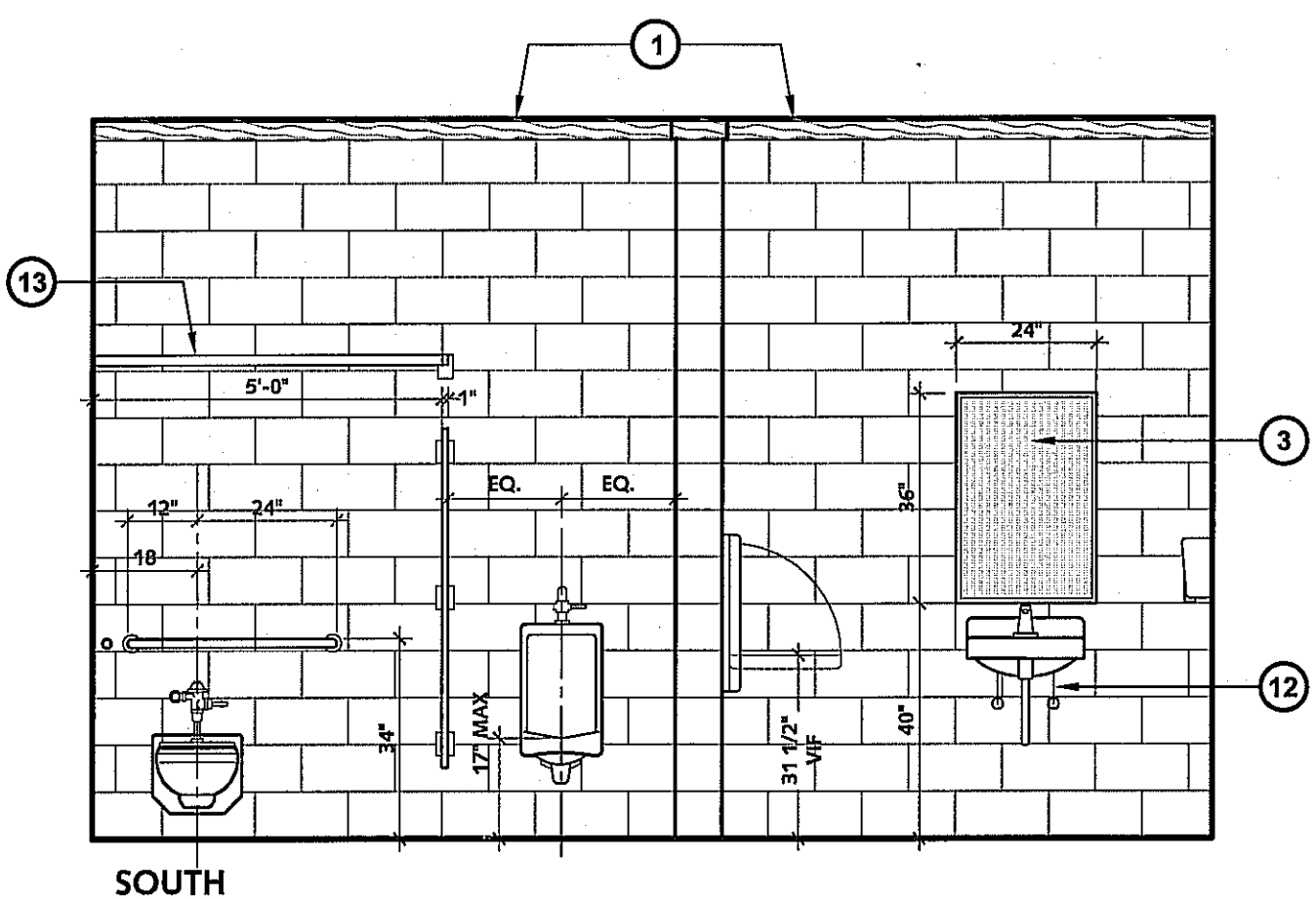
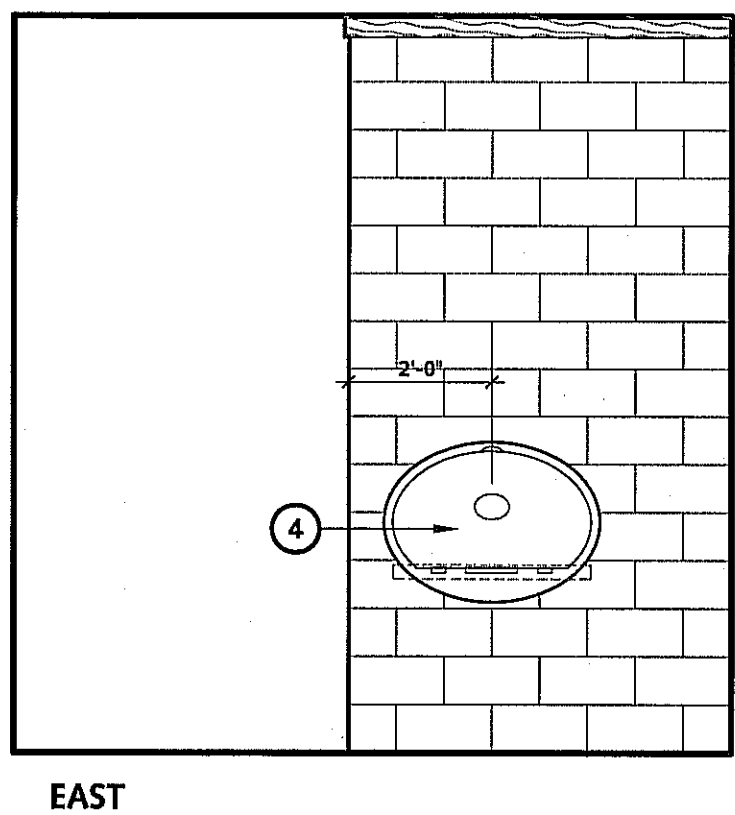
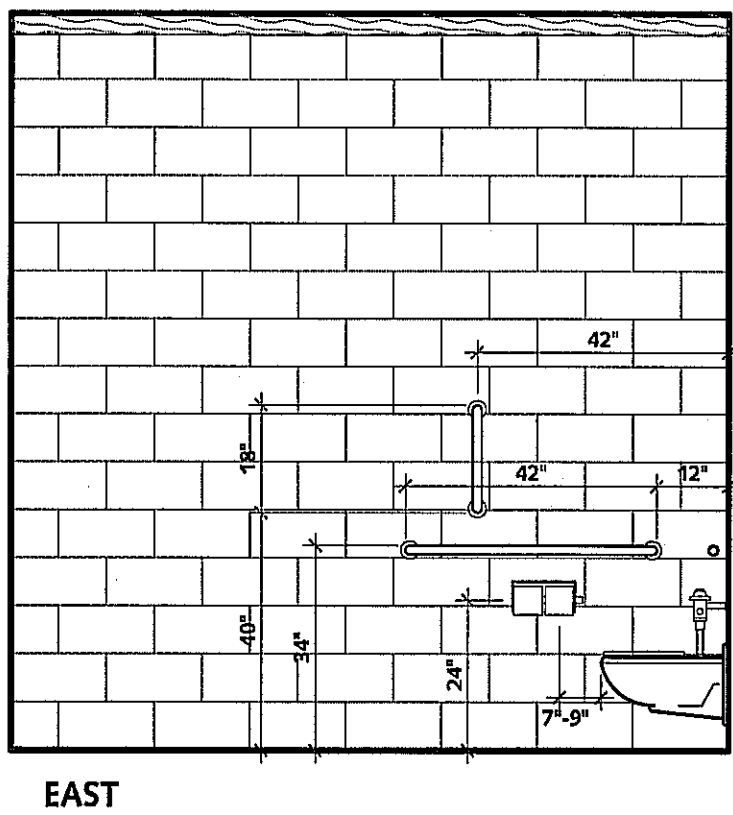


1 A-5.0 EXTERIOR BULLETIN BOARD
SCALE 1" = 1'- 0"

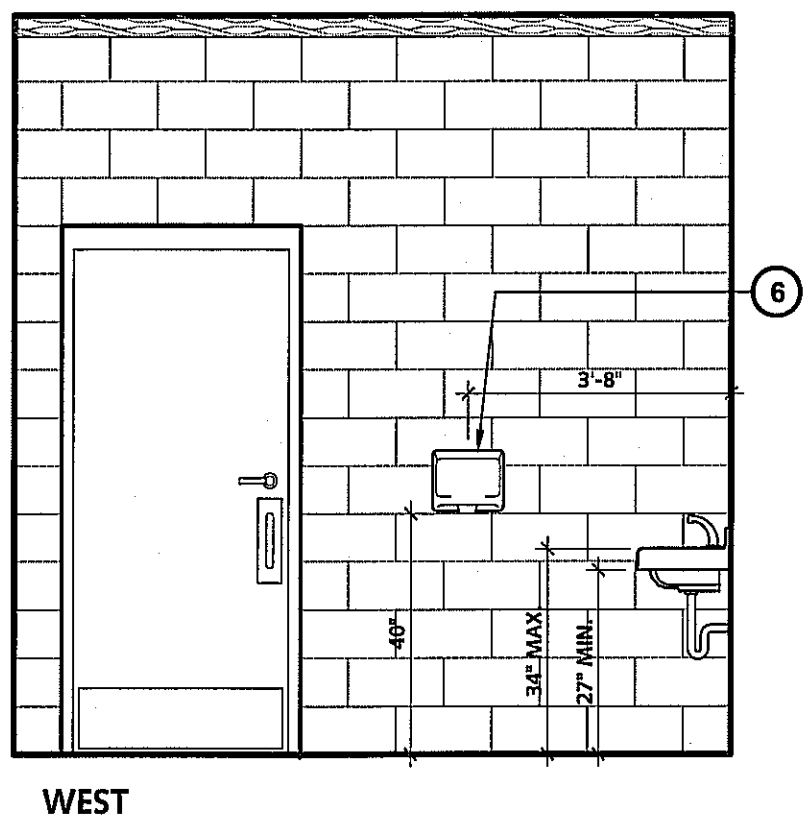
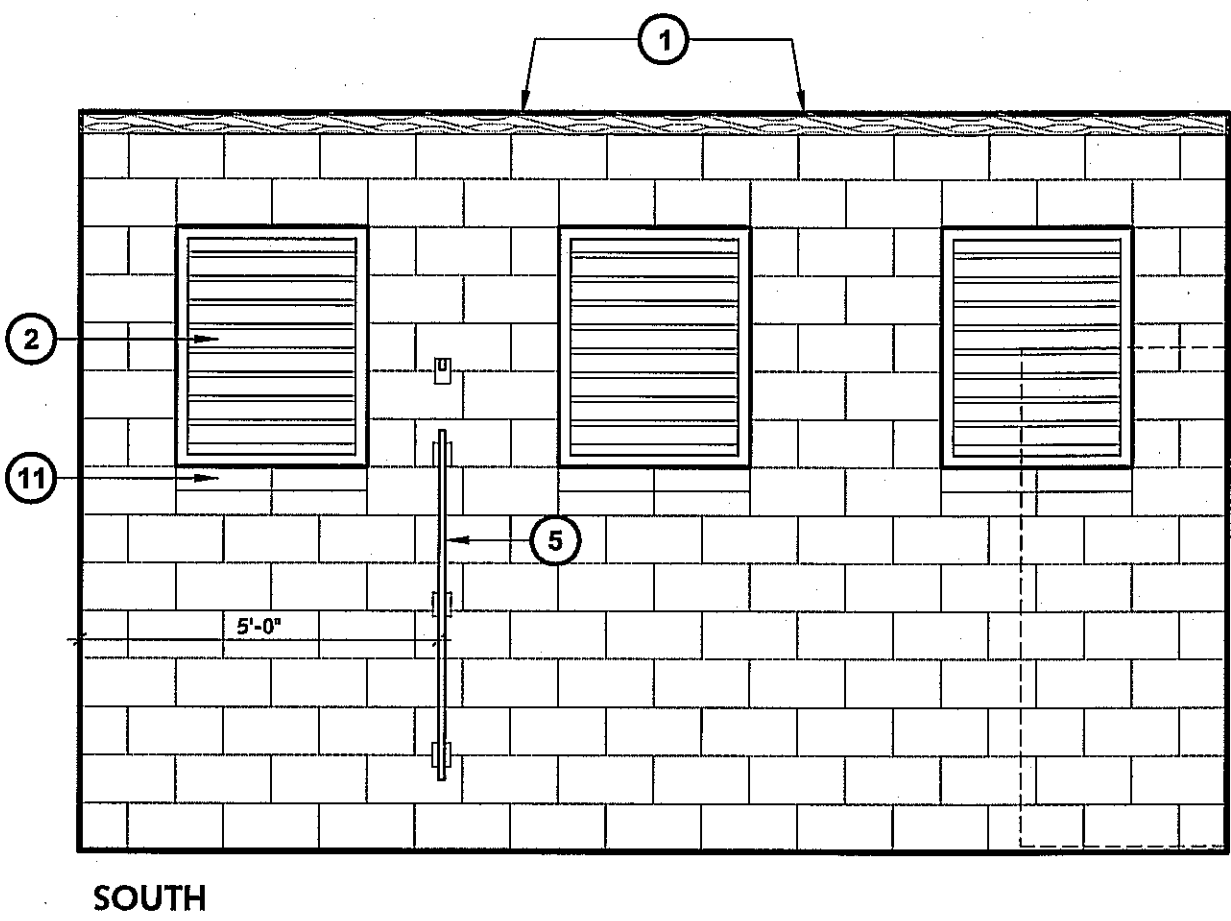
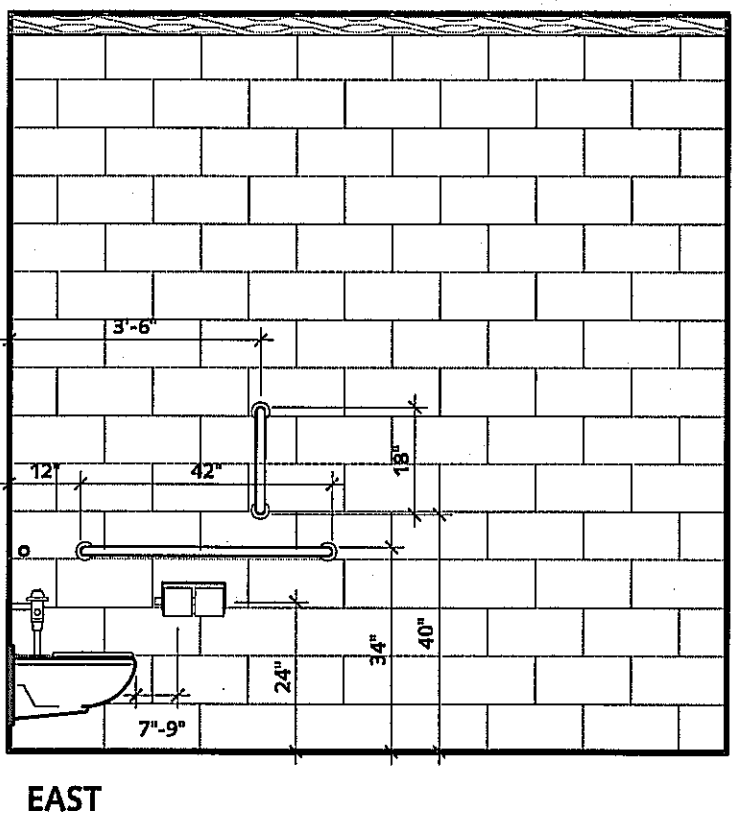
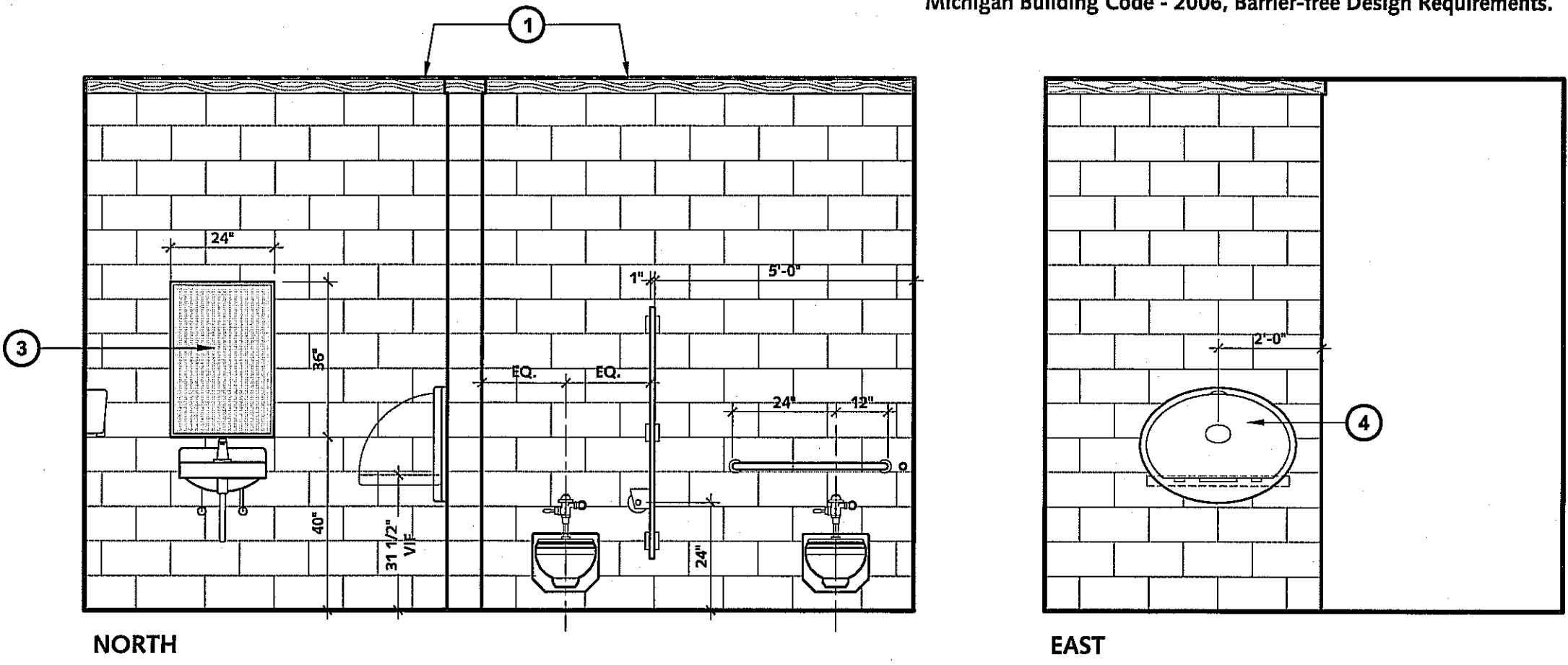
BULLETIN BOARD NOTE
Mount bulletin board directly to 1 X furring at CMU wall. Trim around it with cement board trim (5/4 X 4 all sides) and siding as shown on exterior elevations. Provide flashing at water table band.



BARRIER-FREE MOUNTING HEIGHTS/LOCATIONS
Mounting heights and locations shown here are often for the 'basis of design' toilet accessories and fixtures. If other accessories or fixtures are used, these mounting heights will not necessarily be correct. The Contractor is responsible for verifying the mounting heights and locations of all toilet room fixtures and accessories to insure that they meet the Michigan Building Code - 2006, Barrier-free Design Requirements.



MEN'S TOILET ELEVATIONS
SCALE 1/4" = 1'- 0"



WOMEN'S TOILET ELEVATIONS
SCALE 1/4" = 1'- 0"

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Pittsfield Township, MI

Sheet Title
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INTERIOR ELEVATIONS
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